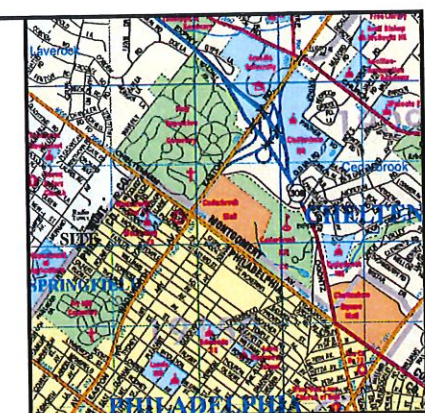
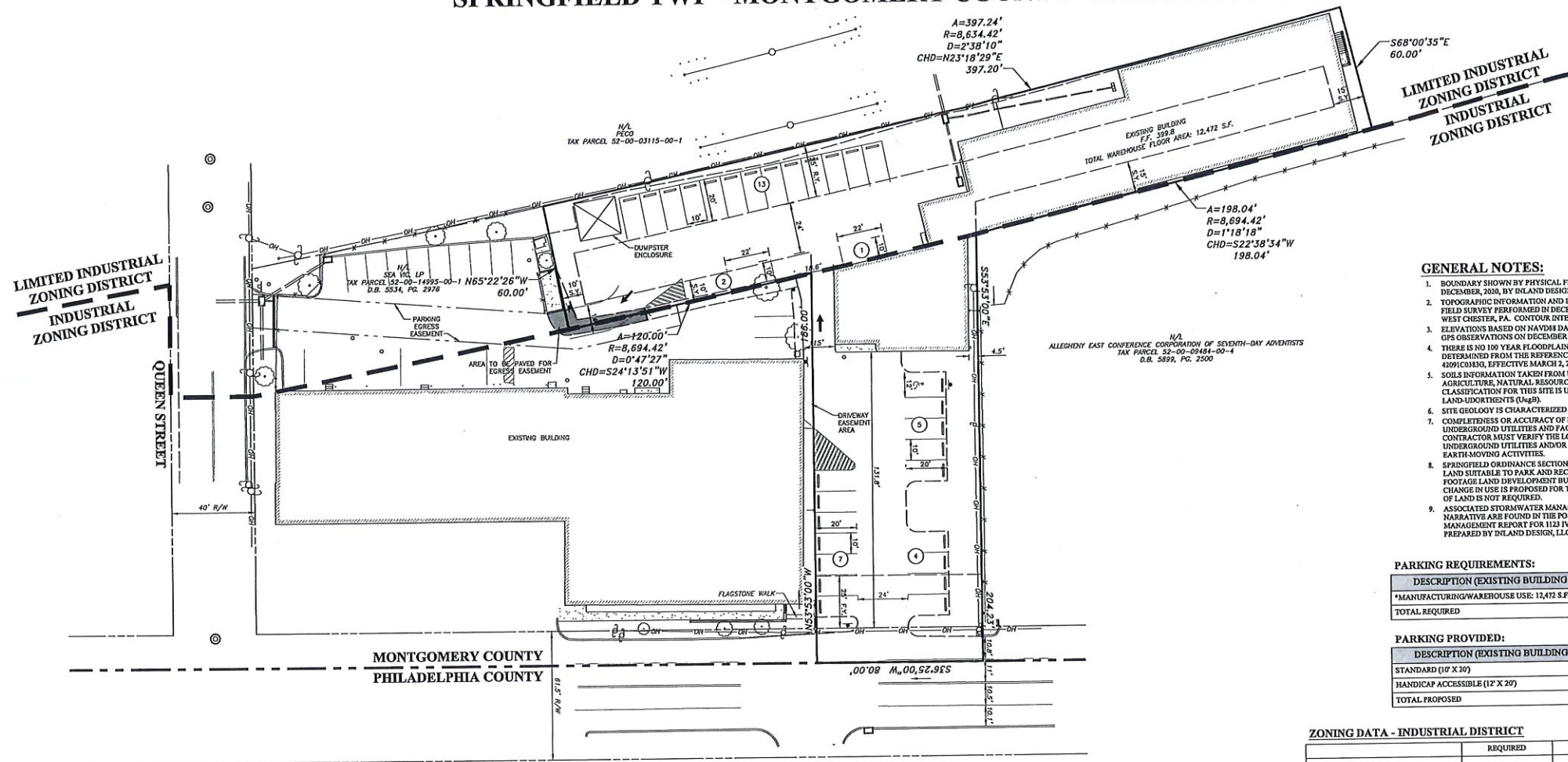


PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR SEA VIC, LP SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA



LOCATION MAP
SCALE: 1"=2000'

NOTARY PUBLIC
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____
SS: _____

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME A NOTARY PUBLIC, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ KNOWN TO ME (OR SATISFACTORY PROVEN) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED HEREIN, AND WHO ACKNOWLEDGES THAT HE IS OWNER AND/OR EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

OWNER
IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SPRINGFIELD THIS _____ DAY OF _____

PRESIDENT _____ DATE _____
SECRETARY _____ DATE _____
TOWNSHIP ENGINEER _____ FB# _____ DATE _____

MONTGOMERY COUNTY PLANNING COMMISSION
MCPC NO. _____
PROCESSED AND REVIEWED. A REPORT HAS BEEN PREPARED BY THE MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.
CERTIFIED THIS DATE _____
FOR THE DIRECTOR
RECORDED IN THE MONTGOMERY COUNTY COURTHOUSE THIS _____ DAY OF _____, 20____, IN PLAN BOOK _____, PAGE _____

RECORDED OF DEEDS:
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF MONTGOMERY COUNTY AT NORRISTOWN, PENNSYLVANIA IN THE PLAN BOOK _____, PAGE _____, ON THE _____ DAY OF _____, 20____

RECORDED _____

- GENERAL NOTES:**
- BOUNDARY SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN DECEMBER, 2016, BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN DECEMBER, 2016 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL = 3 FEET.
 - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON DECEMBER 29, 2016.
 - THERE IS NO 100 YEAR FLOODPLAIN LINE SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 4091C0380, EFFECTIVE MARCH 2, 2016.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE. THE SOIL CLASSIFICATION FOR THIS SITE IS URBAN LAND (UgB) & URBAN LAND-ADJACENT (UgA).
 - SITE GEOLOGY IS CHARACTERIZED AS BRYAN MAWR FORMATION (Tm).
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES.
 - SPRINGFIELD ORDINANCE SECTION 95-11 STATES THAT DEDICATION OF LAND SUITABLE TO PARK AND RECREATION USE IS REQUIRED PER SQUARE FOOTAGE LAND DEVELOPMENT BUILDING AREA. NO NEW BUILDING OR CHANGE IN USE IS PROPOSED FOR THIS PROJECT. THEREFORE DEDICATION OF LAND IS NOT REQUIRED.
 - ASSOCIATED STORMWATER MANAGEMENT CALCULATIONS AND NARRATIVE ARE FOUND IN THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR 1123 IVY HILL ROAD, DATED JULY 14, 2021 PREPARED BY INLAND DESIGN, LLC.

PARKING REQUIREMENTS:

DESCRIPTION (EXISTING BUILDING TO REMAIN)	REQUIRED
*MANUFACTURING/WAREHOUSE USE: 12,472 S.F. @ 1 SPACE/400 S.F.	31.18 SPACES
TOTAL REQUIRED	32 SPACES

PARKING PROVIDED:

DESCRIPTION (EXISTING BUILDING TO REMAIN)	PROPOSED
STANDARD (10' X 20')	31 SPACES
HANDICAP ACCESSIBLE (12' X 20')	1 SPACE
TOTAL PROPOSED	32 SPACES

ZONING DATA - INDUSTRIAL DISTRICT

LOT AREA	REQUIRED	EXISTING	PROPOSED
SEE NOTE (1)	14,284 S.F.	14,284 S.F. (PORTION OF LOT WITHIN INDUSTRIAL DISTRICT)	14,284 S.F. (PORTION OF LOT WITHIN INDUSTRIAL DISTRICT)
MAXIMUM BUILDING AREA	70%	33.0% (4,719 S.F.)	21.0% (2,994 S.F.)
MINIMUM FRONT YARD SETBACK	25 FEET	25.7 FEET	131.8 FEET
MINIMUM SIDE YARD SETBACK (D)	0 FEET	3.5 FEET	3.5 FEET
MINIMUM REAR YARD SETBACK (I)	25 FEET	N/A	N/A

(1) A LOT AREA SUFFICIENT IN SIZE TO ASSURE ADEQUATE FACILITIES FOR DISPOSAL OF SEWAGE AND INDUSTRIAL WASTE SHALL BE PROVIDED. A CERTIFICATE OF APPROVAL FROM THE BUREAU OF HEALTH AND SANITATION OF THIS TOWNSHIP SHALL BE REQUIRED WHERE PUBLIC SANITARY SEWERS ARE NOT AVAILABLE.
(2) NONE REQUIRED FOR A BUILDING USED EXCLUSIVELY FOR MANUFACTURING OR OTHER NONRESIDENTIAL PURPOSES, EXCEPT THAT IN THE CASE OF A CORNER LOT, THE YARD ADJUTING A STREET SHALL NOT BE LESS THAN 25 FEET IN WIDTH. IN ANY CASE WHERE SIDE YARDS ARE PROVIDED, EACH SUCH YARD SHALL BE NOT LESS THAN FOUR FEET IN WIDTH IN ORDER PROPERLY TO PROVIDE FOR PUBLIC SAFETY.
(3) IF THE LOT IS 125 FEET OR LESS IN DEPTH, THE REAR YARD DEPTH MAY BE REDUCED TO NOT LESS THAN 15 FEET.

ZONING DATA - LIMITED INDUSTRIAL DISTRICT

LOT AREA	REQUIRED	EXISTING	PROPOSED
SEE NOTE (1)	23,917 S.F.	23,917 S.F. (PORTION OF LOT WITHIN LIMITED INDUSTRIAL DISTRICT)	23,917 S.F. (PORTION OF LOT WITHIN LIMITED INDUSTRIAL DISTRICT)
MAXIMUM IMPERVIOUS COVERAGE	70%	93.0% (22,231 S.F.) *	93.8% (22,433 S.F.) *
MAXIMUM BUILDING HEIGHT	35 FEET	EXISTING	EXISTING
MINIMUM FRONT YARD SETBACK	25 FEET	N/A	N/A
MINIMUM SIDE YARD SETBACK (I)	10 FEET	0.0 FEET *	0.0 FEET *
MINIMUM REAR YARD SETBACK	25 FEET	0.8 FEET *	0.8 FEET *

(1) A LOT AREA SUFFICIENT IN SIZE TO ASSURE THAT THE LEGISLATIVE INTENT OF THIS SECTION IS MET, AND THAT ALL YARD SETBACK AND BOUNDARY BUFFER REQUIREMENTS ARE PROVIDED.
(2) IN THE CASE OF ANY LOT WHICH, AT THE TIME THIS CHAPTER BECOMES EFFECTIVE, IS HELD IN SINGLE AND SEPARATE OWNERSHIP AND WHICH HAS A WIDTH OF 100 FEET OR LESS, THE MINIMUM AGGREGATE OF THE SIDE YARDS SHALL BE REDUCED TO 15 FEET, BUT NO SIDE YARD SHALL BE LESS THAN FIVE FEET.
* EXISTING NON-CONFORMITY

IMPERVIOUS COVERAGE

	EXISTING	PROPOSED
BUILDINGS	14,822 S.F.	13,353 S.F.
PAVEMENT	18,096 S.F.	19,939 S.F.
CONCRETE	833 S.F.	158 S.F.
WALLS	43 S.F.	20 S.F.
TOTAL:	33,796 S.F.	33,470 S.F.

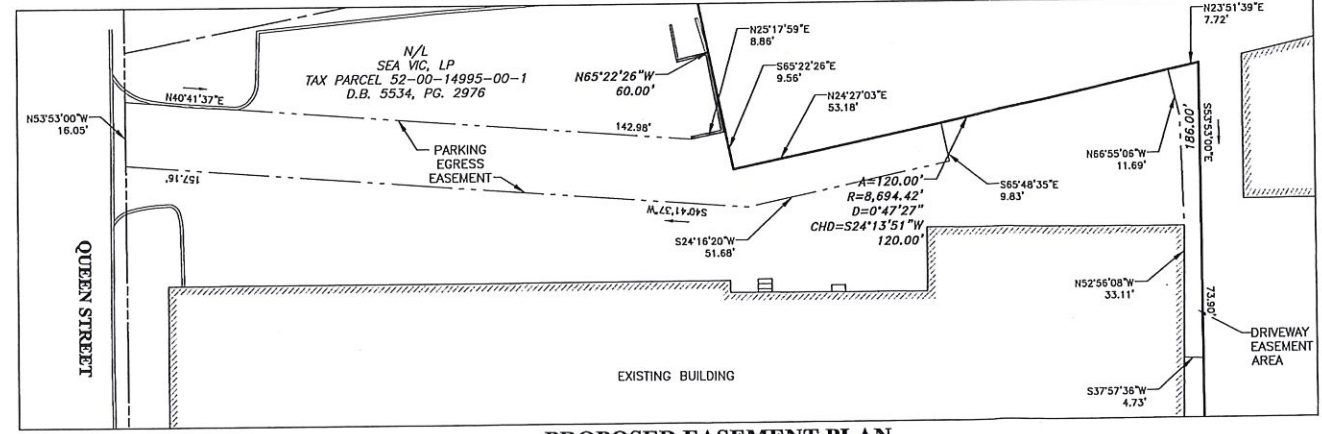
APPLICANT:
SEA VIC, LP
1206 SUSAN DRIVE
ORELAND, PA 19075

OWNER OF RECORD:
ES LLC
1206 SUSAN DRIVE
ORELAND, PA 19075

AREA OF TRACT

GROSS LOT AREA	35,521 S.F. (0.907 ACRES)
AREA WITHIN RIGHT OF WAY	1,230 S.F. (0.028 ACRES)
LOT AREA	34,291 S.F. (0.877 ACRES)

- LEGEND**
- PROPERTY BOUNDARY
 - ADJOINING PROPERTY LINE
 - EXISTING RIGHT OF WAY LINE
 - EXISTING 2' CONTOUR W/ ELEVATION
 - EXISTING 10' CONTOUR W/ ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE
 - EXISTING TREE SYMBOLS
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING SIGN
 - EXISTING FENCE LINE
 - SOILS LINE AND DESCRIPTION
 - EXISTING STORM STRUCTURES & PIPE
 - EXISTING SANITARY STRUCTURES & PIPE
 - EXISTING CURB LINE
 - EXISTING ROAD / PAVING
 - EXISTING WATER LINE
 - EXISTING TELEPHONE LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED SIGN
 - PROPOSED ROAD / PAVING



COPYRIGHT
Inland Design, LLC reserves all copyright and other proprietary rights in this plan. All drawings, specifications and other documents are the property of Inland Design, LLC. They are to be used only in respect to this project and are not to be used on any other project, nor are they to be loaned to any third party without the express written permission and consent of Inland Design, LLC. Any use without written permission, verification, or consent by Inland Design, LLC for the specific project intended, will be at the third party's sole risk and without liability or legal recourse to Inland Design, LLC or any other party. Inland Design, LLC and its employees shall not be held liable for any errors or omissions in this plan, and the user shall verify the location and elevation of all underground utilities and structures before the start of work.

Pennsylvania One Call System
PA, and 172 of 1996 requires
three working days notice
Serial Number:
2021041517

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on this plan, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and elevation of all underground utilities and structures before the start of work.

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerly Blvd.
West Chester, PA 19382
www.InlandDesign.net

Phone: (484) 947-2928
Fax: (484) 947-2916
info@inlanddesign.net

SCOTT G. ZWIZANSKI
ENGINEER
PENNSYLVANIA
1901752

No.	Date:	Description:

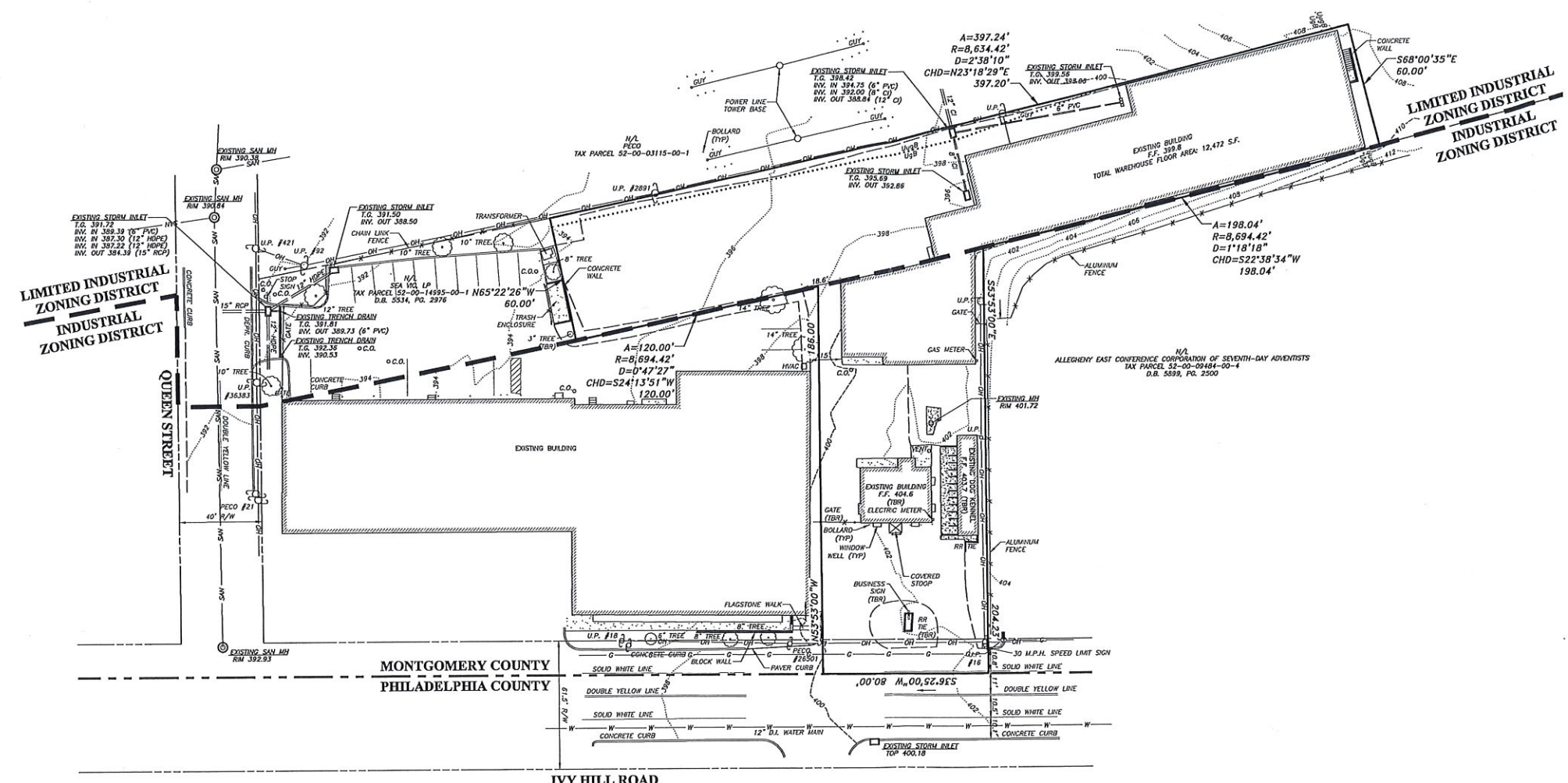
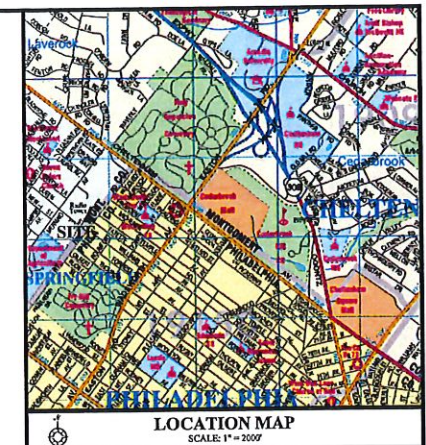
**PRELIMINARY/FINAL
LAND DEVELOPMENT PLAN**

GRAPHIC SCALE
0 10 20 30 40 50 60 70 80 90 100 110 120
(IN FEET)
1 inch = 30'

Date: 07/19/2021
Scale: 1" = 30'
Drawn by: PCJ
Checked by: SJZ
Project No: 11638

COVER SHEET
FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

SHEET
1
OF 6



- GENERAL NOTES:**
- BOUNDARY SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN DECEMBER, 2019, BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN DECEMBER, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL - 2 FEET.
 - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON DECEMBER 29, 2020.
 - THERE IS NO 100 YEAR FLOODPLAIN LINES SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FROM PARCELS, MAP NUMBER 42091C0310, EFFECTIVE MARCH 2, 2016.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE. THE SOIL CLASSIFICATION FOR THIS SITE IS URBAN LAND (UgB) & URBAN LAND-UDORTMENTS (UgB).
 - SITE GEOLOGY IS CHARACTERIZED AS BRYAN M&W FORMATION (Twp).
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
 - SPRINGFIELD ORDINANCE SECTION 95-11 STATES THAT DEDICATION OF LAND SUITABLE TO PARK AND RECREATION USE IS REQUIRED PER SQUARE FOOTAGE LAND DEVELOPMENT BUILDING AREA. NO NEW BUILDING OR CHANGE IN USE IS PROPOSED FOR THIS PROJECT THEREFORE DEDICATION OF LAND IS NOT REQUIRED.
 - ASSOCIATED STORMWATER MANAGEMENT CALCULATIONS AND NARRATIVE ARE FOUND IN THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR 1123 IVY HILL ROAD, DATED JULY 14, 2021 PREPARED BY INLAND DESIGN, LLC.

- DEMOLITION NOTES:**
- THE EARTHWORK/SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE UTILITY PROVIDERS/OWNERS TO DISCONNECT THE EXISTING UTILITY SERVICES TO THE EXISTING BUILDING(S) AND/OR SITE PRIOR TO BEGINNING DEMOLITION SERVICES, INCLUDING BUT NOT LIMITED TO STORM SEWER, ELECTRIC, SANITARY SEWER, GAS, TELEPHONE, AND WATER, MUST BE REMOVED AS DIRECTED BY THE APPROPRIATE UTILITY PROVIDERS/OWNERS.

LEGEND

---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE
---	EXISTING 2' CONTOUR W/ ELEVATION
---	EXISTING 10' CONTOUR W/ ELEVATION
---	EXISTING SPOT ELEVATION
---	EXISTING CONCRETE
---	EXISTING TREE SYMBOLS
---	EXISTING UTILITY POLE
---	EXISTING WATER VALVE
---	EXISTING SIGN
---	EXISTING FENCE LINE
---	SOILS LINE AND DESCRIPTION
---	EXISTING STORM STRUCTURES & PIPE
---	EXISTING SANITARY STRUCTURES & PIPE
---	EXISTING CURB LINE
---	EXISTING ROAD / PAVING
---	EXISTING WATER LINE
---	EXISTING TELEPHONE LINE

EXISTING IMPERVIOUS COVERAGE

BUILDINGS	14,822 S.F.
PAVEMENT	18,096 S.F.
CONCRETE	813 S.F.
WALLS	45 S.F.
TOTAL EXISTING IMPERVIOUS	33,766 S.F.

AREA OF TRACT

GROSS LOT AREA	39,521 S.F. (0.907 ACRES)
AREA WITHIN RIGHT OF WAY	1,320 S.F. (0.030 ACRES)
LOT AREA	38,201 S.F. (0.877 ACRES)

SOILS DESCRIPTION

SYMBOL	DESCRIPTION	SLOPE	AVAILABLE WATER CAPACITY	DRAINAGE CLASS	DEPTH TO S.H.W.T.	DEPTH TO BEDROCK	CAPABILITY UNIT	HYDROLOGIC SOIL GROUP
UgB	URBAN LAND	0% - 8%	N/A	N/A	N/A	N/A	B ₁	N/A
UgB	URBAN LAND-UDORTMENTS	0% - 8%	VERY LOW (ABOUT 0%)	WELL DRAINED	ABOUT 60 INCHES	10 TO 99 INCHES	B ₁	C

OWNER OF RECORD:
 EIS LLC
 1206 SUSAN DRIVE
 ORELAND, PA 19075

COPYRIGHT
 Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in these plans. All drawings, specifications and reports prepared are and shall remain the property of Inland Design, LLC. They are to be used only in respect to the project and are not to be used on any other project, nor are they to be reprinted or reproduced without first obtaining the expressed written permission and consent of Inland Design, LLC. Any reuse without written permission, modification, consent or adaptation by Inland Design, LLC for the specific project intended, will be at the user's sole risk and without liability or legal exposure to Inland Design, LLC. The user shall indemnify and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising from or resulting therefrom.

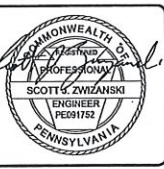
PA. Act 172 of 1996 requires three working days notice
 Serial Number: 20210041517

PENNSYLVANIA ACT 187 REQUIREMENTS:
 Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and direction of all underground utilities and structures before the start of work.

TAX PARCEL: 52-00-09481-00-7 | D.B. 2680 | PG. 214

INLAND DESIGN
 Civil Engineers, Surveyors & Land Development Consultants
 16 Hegarty Blvd.
 West Chester, PA 19382
 www.InlandDesign.net

Phone: (484) 947-3928
 Fax: (484) 947-3946
 Info@InlandDesign.net



No.	Date	Description

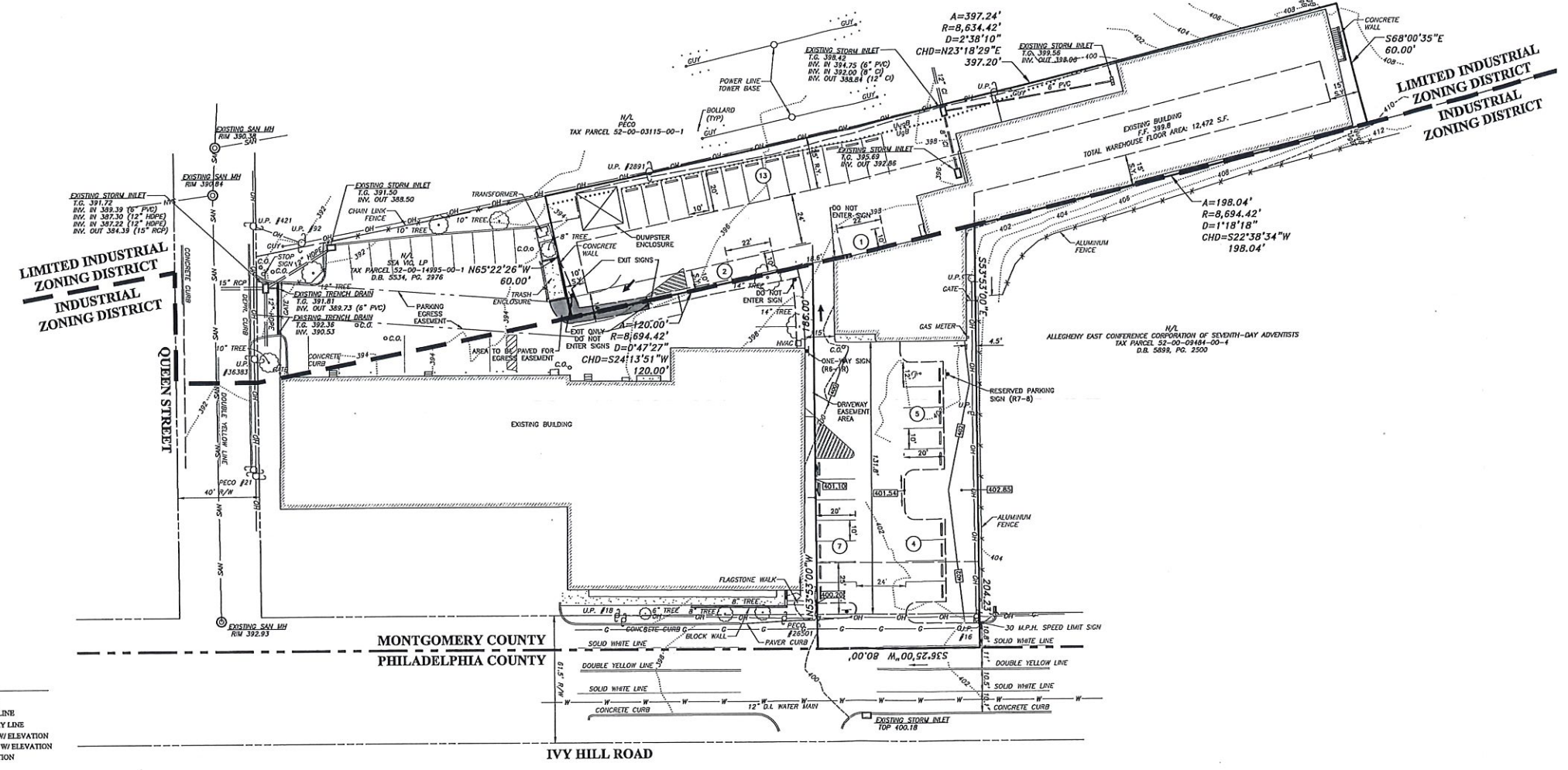
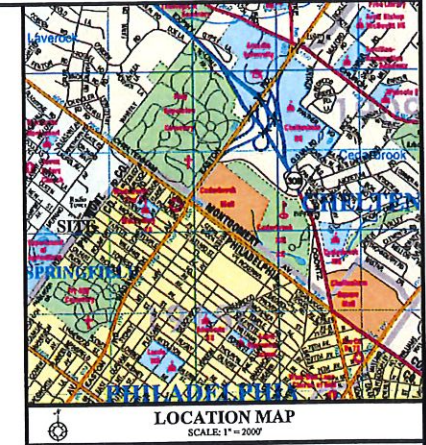
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

GRAPHIC SCALE
 0 15 30 60 120
 (IN FEET)
 1 inch = 30'

Date: 07/19/2021
 Scale: 1" = 30'
 Drawn by: PCJ
 Checked by: SJZ
 Project No: 11638

EXISTING CONDITIONS & DEMOLITION PLAN
 FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
 SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

SHEET
2
 OF 6



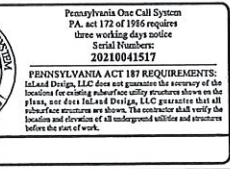
LEGEND

—	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EXISTING RIGHT OF WAY LINE
---	EXISTING 2' CONTOUR W/ ELEVATION
---	EXISTING 10' CONTOUR W/ ELEVATION
---	EXISTING SPOT ELEVATION
---	EXISTING CONCRETE
○	EXISTING TREE SYMBOLS
○	EXISTING UTILITY POLE
○	EXISTING WATER VALVE
○	EXISTING SIGN
---	EXISTING FENCE LINE
---	SOILS LINE AND DESCRIPTION
---	EXISTING STORM STRUCTURES & PIPE
---	EXISTING SANITARY STRUCTURES & PIPE
---	EXISTING CURB LINE
---	EXISTING ROAD / PAVING
---	EXISTING WATER LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED SIGN
---	PROPOSED ROAD / PAVING
---	PROPOSED 2' CONTOUR
---	PROPOSED 10' CONTOUR
---	PROPOSED SPOT ELEVATION

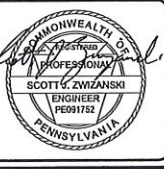
COPYRIGHT
Inland Design, LLC expressly reserves its common law copyright and all other proprietary rights in this plan. All drawings, specifications and copies thereof are and shall remain the property of Inland Design, LLC. They are to be used only in the project and no other project without the written consent of Inland Design, LLC. Any reuse without written permission, notification, consent or adaptation by Inland Design, LLC for the specific project is prohibited. Inland Design, LLC does not warrant the accuracy of the information provided in this plan. Inland Design, LLC does not assume any liability for any damage or loss of any kind, including but not limited to, direct, indirect, special, incidental, or consequential damages, arising out of or in connection with the use of this plan. Inland Design, LLC shall not be held liable for any damage or loss of any kind, including but not limited to, direct, indirect, special, incidental, or consequential damages, arising out of or in connection with the use of this plan.

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the information provided in this plan. Inland Design, LLC does not assume any liability for any damage or loss of any kind, including but not limited to, direct, indirect, special, incidental, or consequential damages, arising out of or in connection with the use of this plan. Inland Design, LLC shall not be held liable for any damage or loss of any kind, including but not limited to, direct, indirect, special, incidental, or consequential damages, arising out of or in connection with the use of this plan.

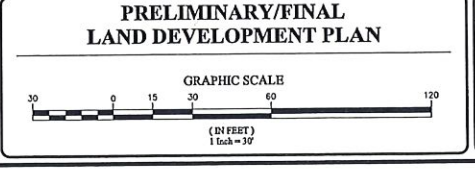
TAX PARCEL: 52-00-09481-00-7 | D.B. 2680 | PG. 214



INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerly Blvd.
West Chester, PA 19381
Phone: (484) 947-2928
Fax: (484) 947-2946
Info@InlandDesign.net



No.	Date:	Description:



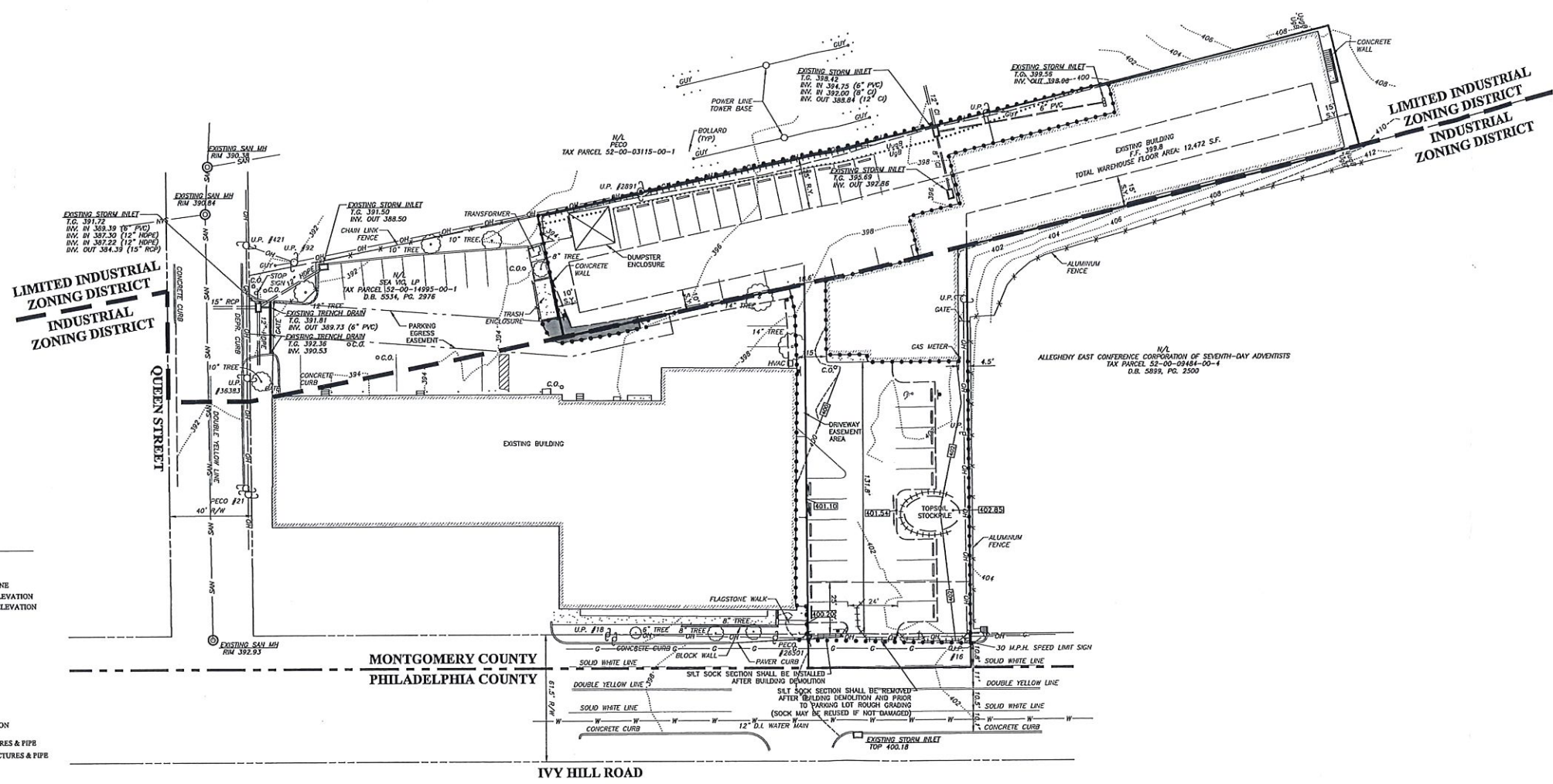
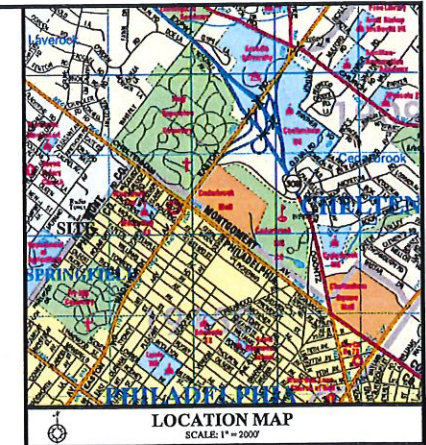
Date: 07/19/2021
Scale: 1" = 30'
Drawn by: PCD
Checked by: SJZ
Project No. 11638

GRADING & UTILITY PLAN
FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

SHEET
3
OF 6

- GENERAL NOTES:**
- BOUNDARY SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN DECEMBER, 2020, BY INLAND DESIGN, LLC, WEST CHESTER, PA.
 - TOPOGRAPHIC INFORMATION AND IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN DECEMBER, 2020 BY INLAND DESIGN, LLC, WEST CHESTER, PA. CONTOUR INTERVAL = 2 FEET.
 - ELEVATIONS BASED ON NAVD83 DATUM. VERTICAL DATUM OBTAINED BY GPS OBSERVATIONS ON DECEMBER 29, 2020.
 - THERE IS NO 100 YEAR FLOODPLAIN LINES SHOWN ON THE PLAN, WHICH WAS DETERMINED FROM THE REFERENCE FIRM PANELS, MAP NUMBER 42091C010, EFFECTIVE MARCH 2, 2014.
 - SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, THE SOIL CLASSIFICATION FOR THIS SITE IS URBAN LAND (Ulb) & URBAN LAND-INDUSTRIALS (UlbI).
 - SITE GEOLOGY IS CHARACTERIZED AS BRYN MAWR FORMATION (Tm).
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES.
 - SPRINGFIELD ORDINANCE SECTION 95-11 STATES THAT DEDICATION OF LAND SUITABLE TO PARK AND RECREATION USE IS REQUIRED PER SQUARE FOOTAGE LAND DEVELOPMENT BUILDING AREA. NO NEW BUILDING OR CHANGE IN USE IS PROPOSED FOR THIS PROJECT THEREFORE DEDICATION OF LAND IS NOT REQUIRED.
 - ASSOCIATED STORMWATER MANAGEMENT CALCULATIONS AND NARRATIVE ARE FOUND IN THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT FOR 1123 IVY HILL ROAD, DATED JULY 14, 2021 PREPARED BY INLAND DESIGN, LLC.

OWNER OF RECORD:
EJH LLC
1206 SUSAN DRIVE
ORIELAND, PA 19075



- SEQUENCE OF CONSTRUCTION:**
1. DELINEATE THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLAN.
 2. DURING DEMOLITION, EXISTING DRIVEWAY TO BE USED AS A CONSTRUCTION ENTRANCE. THE EXISTING DRIVEWAY AND ANY SEDIMENT TRACKED ONTO IVY HILL ROAD ARE TO BE BROOM CLEANED AT THE END OF EACH WORKDAY.
 3. INSTALL SILT SOCK AS SHOWN ON THE PLAN.
 4. DEMOLISH EXISTING BUILDINGS AND STRUCTURES ACCORDING TO THE DEMOLITION PLAN. STRIP TOPSOIL FROM AREAS TO BE DISTURBED FOR DRIVEWAY CONSTRUCTION AND STOCKPILE AS SHOWN ON THE PLAN.
 5. ROUGH GRADE AND INSTALL NEW ENTRANCE, EXIT AND PARKING AREAS AS SHOWN ON THE PLAN. INSTALL BASE COURSES OF ALL THE NEW PAVEMENT AREAS.
 6. INSTALL ALL IMPROVEMENTS AND UTILITIES AS SHOWN ON THE PLAN.
 7. COMPLETE FINE GRADING, REDISTRIBUTE TOPSOIL OVER ALL DISTURBED AREAS AND INSTALL LANDSCAPING.
 8. PLACE PERMANENT SEEDING AND MULCH ON THE SITE IN ACCORDANCE WITH THE SPECIFICATIONS.
 9. INSTALL WEARING COURSE ON ALL PARKING AREAS.
 10. UPON FINAL STABILIZATION OF ALL LAWN AREAS (70% COVER OR BETTER), REMOVE SILT SOCK.
- EROSION CONTROL NOTES:**
1. TEMPORARILY MOVE COMPOST FILTER SOCK AS NEEDED TO COMPLETE DEMOLITION WORK. REPLACE AT THE END OF EACH WORK DAY.
 2. WHEN DEMOLITION WORK IS COMPLETE, ROUGH GRADE PROPOSED PARKING LOT AND SEED AND MULCH DISTURBED AREAS THAT WILL NOT BE PAVED. ADJUST COMPOST FILTER SOCK TO PERIMETER CONTROL ON EACH SIDE OF PROPOSED ENTRANCE. LEAVE COMPOST FILTER SOCK IN PLACE UNTIL DISTURBED AREAS HAVE STABILIZED.

- SEEDING AND MULCHING REQUIREMENTS**
1. IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AT LEAST SIX (6) TONS OF AGRICULTURAL GRADE LIMESTONE AND 100-200-200 (100 POUNDS OF N, 200 POUNDS OF P₂O₅ AND 200 POUNDS OF K₂O) PER ACRE TO DISTURBED AREAS.
 2. ALL ON LOT DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT THE RATE OF 176 POUNDS PER ACRE: 50% KENTUCKY BLUEGRASS BARRON MIX, 25% RED FESCUE PENNSYLVAN, 25% CLEMATON PERENNIAL RYEGRASS, AND 5% ANNUAL. THE SEEDING DATES FOR THIS MIXTURE SHALL BE MARCH 15 TO JUNE 15 AND/OR AUGUST 15 TO OCTOBER 15. AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT A RATE OF THREE (3) TONS PER ACRE. (OTHER SEED MIXTURES MAY BE SUBSTITUTED IF APPROVED BY THE COUNTY CONSERVATION DISTRICT OR THE MUNICIPAL ENGINEER).
 3. IF THE ABOVE SEED MIXTURES DO NOT GERMINATE SATISFACTORILY IN AREAS OF THE SITE DUE TO WET SOIL CONDITIONS, THOSE AREAS SHALL BE RESEEDED WITH REED CANARY GRASS AT THE RATE OF 100 POUNDS PER ACRE.
 4. PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDS SHALL BE HEAVILY MULCHED WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT THE RATE OF THREE (3) TONS PER ACRE. THE MULCH SHALL THEN BE REMOVED AND THE AREA SHALL BE DRESSED, SEEDED AND RE-MULCHED AS DESCRIBED ABOVE.
 5. DISTURBED AREAS ON WHICH ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 15 DAYS MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT FINISHED AT GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING, TEMPORARY SEEDING MIXTURE (ANNUAL RYEGRASS, 40 POUNDS PER ACRE, OR SEED PENNSYLVANIA STATE UNIVERSITY AGRONOMY GUIDE FOR OTHER SEEDING RECOMMENDATIONS), APPLY 1 TON OF AGRICULTURAL LIMESTONE PER ACRE, PLUS FERTILIZER, AT THE RATE OF 50-50-200 PER ACRE. (50 LBS. OF N, 50 LBS OF P₂O₅ AND 200 LBS. OF K₂O).

NOTE:
UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RESETTING MUST BE PERFORMED IMMEDIATELY.

- LEGEND**
- PROPERTY BOUNDARY
 - ADJOINING PROPERTY LINE
 - EXISTING RIGHT OF WAY LINE
 - EXISTING 2' CONTOUR W/ ELEVATION
 - EXISTING 10' CONTOUR W/ ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE
 - EXISTING TREE SYMBOLS
 - EXISTING UTILITY POLE
 - EXISTING WATER VALVE
 - EXISTING SIGN
 - EXISTING FENCE LINE
 - SOILS LINE AND DESCRIPTION
 - EXISTING STORM STRUCTURES & PIPE
 - EXISTING SANITARY STRUCTURES & PIPE
 - EXISTING CURB LINE
 - EXISTING ROAD / PAVING
 - EXISTING WATER LINE
 - EXISTING TELEPHONE LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED SIGN
 - PROPOSED ROAD / PAVING
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - PROPOSED SPOT ELEVATION
 - 1" COMPOST FILTER SOCK
 - LIMIT OF DISTURBANCE

WATERSHED: LOWER WISSAHICKON CREEK
CHAPTER 93 CLASSIFICATION TROUT
STOCKING-MIGRATORY FISH (TSM/MF)

LIMIT OF DISTURBANCE: 25,516 S.F. (0.59 AC.)

COPYRIGHT
Inland Design, LLC expressly reserves its copyright and all other proprietary rights in these plans. All drawings, specifications and reports thereof are and shall remain the property of Inland Design, LLC. They are to be used only for the project and are not to be used for any other project, nor are they to be assigned to any third party without the obtaining the express written permission and consent of Inland Design, LLC. Any reuse without written permission, verification, consent or approval by Inland Design, LLC for the specific project intended, will be at the user's sole risk and without liability or legal recourse to Inland Design, LLC. The user shall be solely responsible and hold harmless Inland Design, LLC from all claims, damages, losses, and expenses arising thereon or resulting therefrom.

Pennsylvania One Call System
PA Act 172 of 1988 requires
three working days notice
Serial Number:
20211041517

PENNSYLVANIA ACT 187 REQUIREMENTS:
Inland Design, LLC does not guarantee the accuracy of the location for existing subsurface utility structures shown on the plans, nor does Inland Design, LLC guarantee that all subsurface structures are shown. The contractor shall verify the location and direction of all underground utilities and structures before the start of work.

TAX PARCEL: 52-00-09481-00-7 | D.B. 2680 | PG. 214

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd.
West Chester, PA 19381
www.inlanddesign.net

Phone: (484) 947-2928
Fax: (484) 947-2946
Info@inlanddesign.net

SCOTT G. ZWZANSKI
ENGINEER
PE091752
PENNSYLVANIA

No.	Date:	Description:

**PRELIMINARY/FINAL
LAND DEVELOPMENT PLAN**

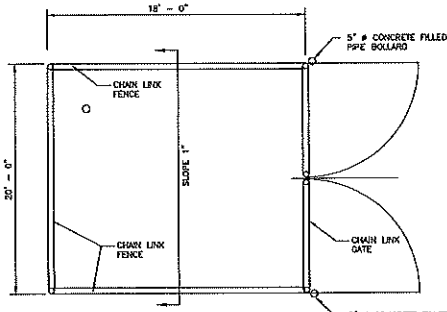
GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 Inch = 30'

Date:
07/19/2021
Scale:
1" = 30'
Drawn by:
PCD
Checked by:
S/JZ
Project No.
11638

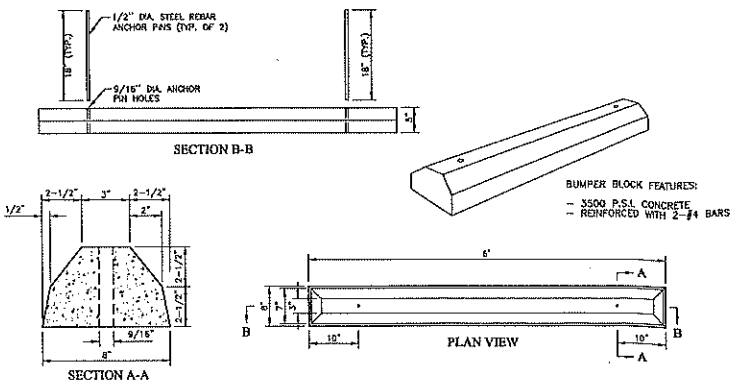
EROSION & SEDIMENT CONTROL PLAN
FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

SHEET
4
OF 6

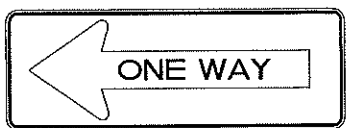
N:\1160011638\DWG\Sheet4\Land Development\04 E&S PLAN.dwg



DUMPSTER ENCLOSURE
(NOT TO SCALE)



BUMPER BLOCK DETAIL
(NOT TO SCALE)

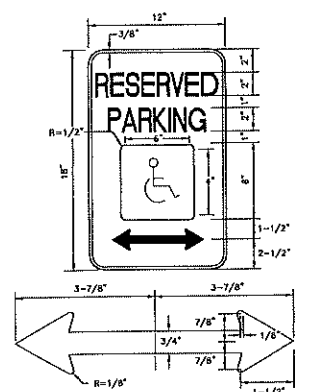


COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)
ONE WAY SIGN (R-1)
3' x 11'



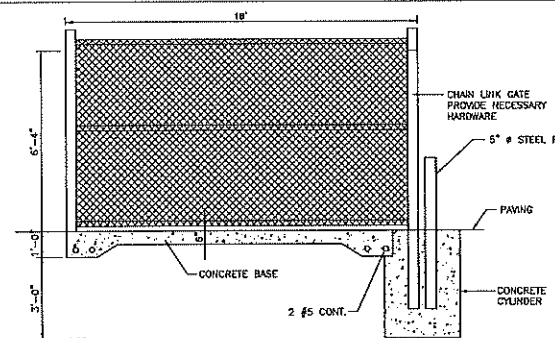
COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)
ONE WAY SIGN (R-1)
3' x 11'

ONE WAY SIGNS
(NOT TO SCALE)

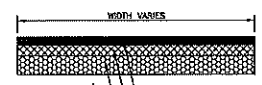


COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)
RESERVED PARKING SIGN (R7-8)
(NOT TO SCALE)

SIGNS TO BE MOUNTED ON A SINGLE POST (SEE DETAIL).
BOTTOM OF SIGN TO BE A MINIMUM OF 60 INCHES ABOVE GRADE.

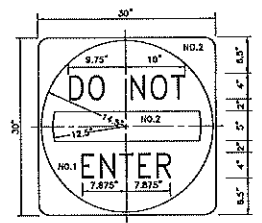


DUMPSTER ENCLOSURE CROSS SECTION
(NOT TO SCALE)



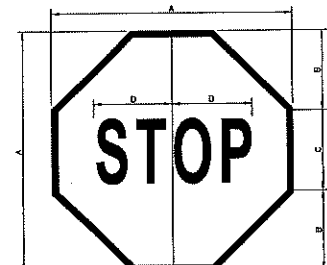
NOTE: PREPARED SUBGRADE SHALL BE PROFFERED TO VERIFY SUITABLE COMPACTION.

PARKING LOT CROSS SECTION
(NOT TO SCALE)



COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)
DO NOT ENTER SIGN (RS-1)
(NOT TO SCALE)

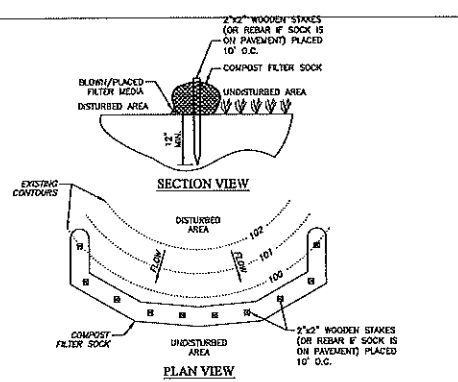
- (4) Justification. The Stop Sign (R1-1) is authorized for use on those streets or highways which intersect with a through highway or at a stop intersection as designated by the Department with reference to State designated highways or local authorities with reference to highways under their jurisdiction. The R1-1 sign is also authorized for use in work zones involving one-lane, two-way roadways. At intersections where all approaches are controlled by an R1-1 sign, an supplemental ALL-WAY plaque (R1-3P) shall be mounted below each R1-1 sign.
- (5) Authorization. Before local authorities designate any highway as a through highway or stop intersection which will intersect or affect a State-designated highway, approval of such designation shall first be obtained from the Department. Approval to install R1-1 signs in work areas shall not require the approval of the Department or local authorities when the conditions stipulated in the Department's Temporary Traffic Control Guidelines are satisfied.
- (6) Size. The standard size R1-1 sign shall be 30" x 30" for single-lane conventional highways and 36" x 36" for multi-lane conventional highways. The 24" x 24" sign shall only be used for stops with restrictive physical conditions and vehicle usage that prohibits the installation of the standard size R1-1. A sign that is mounted back-to-back with a R1-1 sign should stay within the edges of the R1-1 sign. If necessary, the size of the R1-1 sign should be increased so that any other sign mounted back-to-back with it remains within the edges of the R1-1 sign.



R1-1 STOP SIGN
(NOT TO SCALE)

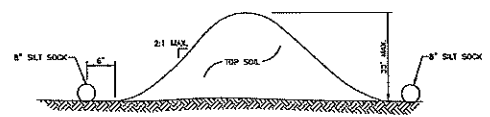
DIMENSIONS - IN.					
SIGN SIZE A x A	B	C	D	BORDER	BLANK STD.
18" x 18"	6	6C	5	0.4	---
24" x 24"	8	8C	10	0.6	B1-24
30" x 30"	10	10C	12.6	0.8	B1-30
36" x 36"	12	12C	15	0.8	B1-36
48" x 48"	15	16C	20	1.2	B1-48

COLOR: LEGEND AND BORDER WHITE (REFLECTORIZED)
BACKGROUND RED (REFLECTORIZED)



COMPOST FILTER SOCK
(PADEP STANDARD CONSTRUCTION DETAIL #4-1)
(NOT TO SCALE)

- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 4 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT (FIGURE 4.1). MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED THAT SHOWN ON FIGURE 4.2. STAKES MAY BE INSTALLED IMMEDIATELY DOWN-SLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINY EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



TYPICAL TOPSOIL STOCKPILE CROSS SECTION
(NOT TO SCALE)

- NOTES:
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - ALL SLOPE SIDES SHALL BE 2:1 OR FLATTER.
 - STOCKPILES SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIREMENTS.
 - SOIL FENCE OR MAT BALE FILTER SHALL BE INSTALLED AS DETAILED HEREON.
 - LOCATION OF PROPOSED STOCKPILE WHICH AFFECTS EROSION CONTROLS ARE SHOWN SCHEMATICALLY ONLY. ACTUAL STOCKPILE LOCATION MAY CHANGE DURING CONSTRUCTION.
 - STOCKPILE HEIGHTS MUST NOT EXCEED 15 FEET.

COPYRIGHT
Inland Design, LLC reserves all copyright and all other proprietary rights in this plan. All drawings, specifications and reports created by or for Inland Design, LLC are the property of Inland Design, LLC. They are to be used only in respect to the project and are not to be used on any other project, nor are they to be used for any other purpose without the express written permission of Inland Design, LLC. Any use without written permission, in full or in part, is prohibited. Inland Design, LLC does not warrant the accuracy of the information provided in this plan. Inland Design, LLC shall not be held responsible for any errors or omissions in this plan. The contractor shall verify the location and direction of all underground utilities and structures before the start of work.

PENNSYLVANIA PROFESSIONAL ENGINEER
SCOTT C. ZWANSIG
ENGINEER
1909132

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerty Blvd.
West Chester, PA 19382
www.inlanddesign.com

Phone: (484) 947-2928
Fax: (484) 947-2946
info@inlanddesign.com

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

No.	Date	Description

CONSTRUCTION DETAILS PLAN FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

5 OF 6

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

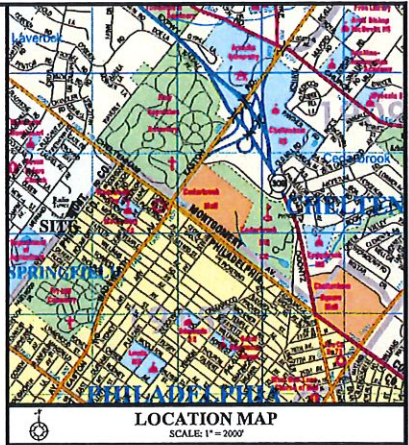
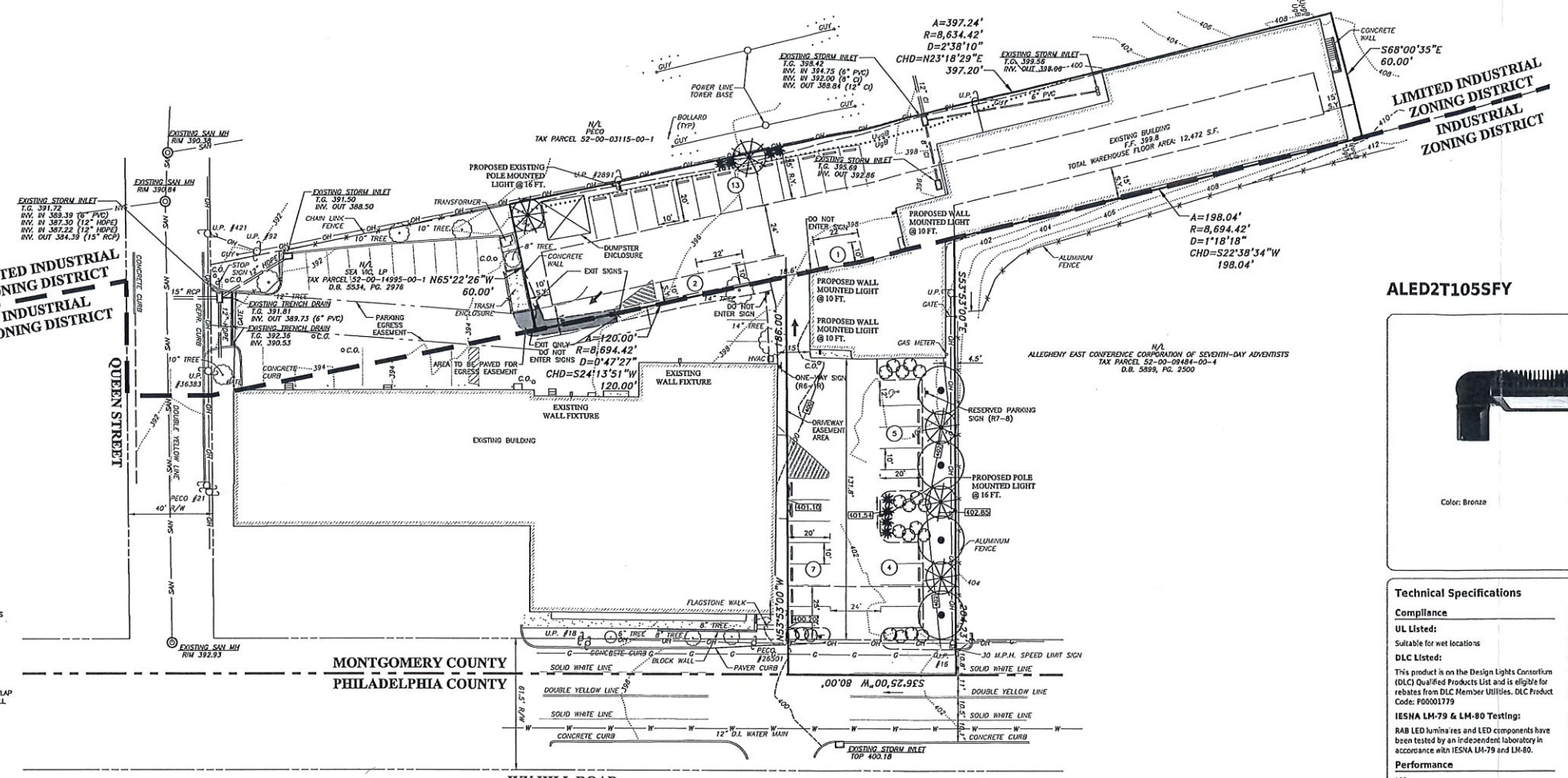
Date: 07/19/2021
Scale: 1" = 10'
Drawn by: PCJ
Checked by: SJZ
Project No: 11638

CONSTRUCTION DETAILS PLAN FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

SHEET
5
OF 6



LIMITED INDUSTRIAL ZONING DISTRICT
INDUSTRIAL ZONING DISTRICT



ALED2T105SFY



Driver Info		LED Info	
Type	Constant Current	Watts	105W
120V	0.89A	Color Temp	3000K (Warm)
208V	0.58A	Color Accuracy	71 CRI
240V	0.50A	L70 lifespan	100,000 Hours
277V	0.44A	Lumens	12,528
Input Watts	106.4W	Efficacy	117.7 lm/W

Technical Specifications

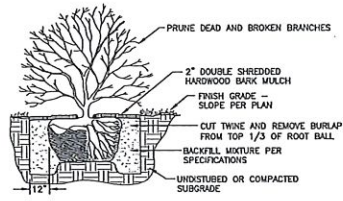
Compliance
UL Listed: Suitable for wet locations
DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P0001179
IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Performance
Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

IES Classification
The Type B distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

Effective Projected Area:
EPA = 2.2
Maximum Ambient Temperature: Suitable for use in up to 40°C (104°F)
Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)
Thermal Management: Superior thermal management with external "Air-Flow" fins
Lens: Tempered glass lens

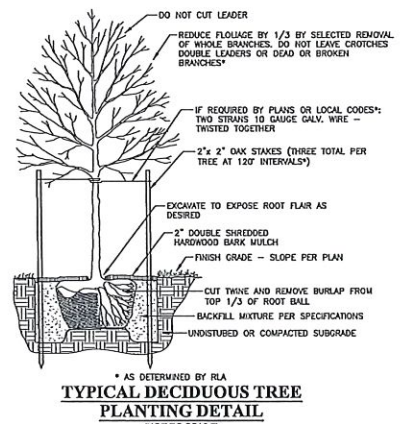
Housing: Die-cast aluminum housing, lens frame and mounting arm
Mounting: Heavy-duty mounting arm with "O" ring seal & stainless steel screws
Reflector: Specular vacuum-metallized polycarbonate
Gaskets: High-temperature silicone gaskets



NOTE: FOR B&B PLANTS, CUT TWINE & REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL. FOR CONTAINER GROWN PLANTS, VERTICALLY SPLIT ROOTS AT THREE EQUALLY SPACED LOCATIONS TO 1" DEEP.
TYPICAL SHRUB PLANTING DETAIL (NOT TO SCALE)

LEGEND

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING RIGHT OF WAY LINE
- EXISTING 2' CONTOUR W/ ELEVATION
- EXISTING 10' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE
- EXISTING TREE SYMBOLS
- EXISTING UTILITY POLE
- EXISTING WATER VALVE
- EXISTING SIGN
- EXISTING FENCE LINE
- SOILS LINES AND DESCRIPTION
- EXISTING STORM STRUCTURES & PIPE
- EXISTING SANITARY STRUCTURES & PIPE
- EXISTING CURB LINES
- EXISTING ROAD / PAVING
- EXISTING WATER LINE
- EXISTING TELEPHONE LINE
- PROPOSED EASEMENT LINE
- PROPOSED SIGN
- PROPOSED ROAD / PAVING
- PROPOSED 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED SPOT ELEVATION



* AS DETERMINED BY IFA
TYPICAL DECIDUOUS TREE PLANTING DETAIL (NOT TO SCALE)

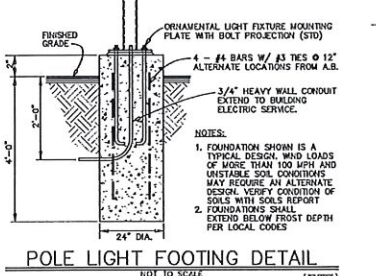
LANDSCAPE PLANTING SCHEDULE

SYMBOL	COUNT	BOTANICAL NAME	COMMON NAME	CALIPER	ROOT	REMARKS	
DECIDUOUS TREES							
(Symbol)	4	QUERCUS RUBRA	RED OAK	2-1/2" - 3" CAL	B&B	MATCHED SPECIMEN	
(Symbol)	5	AMELANCHIER	SERVICEBERRY	2" - 2-1/2" CAL OR 8" HIGH	B&B	MATCHED SPECIMEN	
(Symbol)	9	TOTAL TREES					
SHRUBS							
SYMBOL	COUNT	TYPE	BOTANICAL NAME	COMMON NAME	CALIPER	ROOT	REMARKS
(Symbol)	8	EVERGREEN SHRUB	BERBERIS VERRUCULOSA	BARBERRY	B&B	B&B	PLANT IN MULCH BED
(Symbol)	20	DECIDUOUS SHRUB	PHOTNIA MELANOCARPA	BLACK CHOKERBERRY	B&B	B&B	PLANT IN MULCH BED
(Symbol)	28	TOTAL SHRUBS					

TREE REMOVAL CHART

EXISTING TREES TO BE REMOVED	NUMBER	CALIPER	REPLACEMENT REQUIREMENT	REPLACEMENT PROVIDED
	1	3"	2	9

ALTERNATE SITE LIGHTING BASE DETAIL



POLE LIGHT FOOTING DETAIL (NOT TO SCALE)

INLAND DESIGN
Civil Engineers, Surveyors & Land Development Consultants
16 Hagerly Blvd.
West Chester, PA 19382
Phone: (610) 947-2928
Fax: (610) 947-2946
info@inlanddesign.net

PROFESSIONAL ENGINEER
SCOTT C. ZWIZANSKI
ENGINEER
PE091752
PENNSYLVANIA

No.	Date:	Description:

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
GRAPHIC SCALE
0 15 30 60 120
(IN FEET)
1 inch = 30'

LANDSCAPE AND LIGHTING PLAN FOR
SEA VIC, LP
1123 IVY HILL ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TWP • MONTGOMERY COUNTY • PENNSYLVANIA

SHEET
6
OF 6