



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

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Public Notice

Planning Commission Meeting

LD-21-02

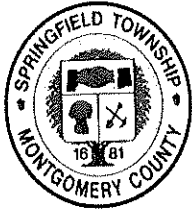
This notice is sent to inform you that Springfield Township's Planning Commission will hold a public meeting on Tuesday, September 21, 2021 with a 7:00 P.M. start time to discuss the Land Development Application filed by Rotelle Development Company, for the property located at 7602 Pine Road, Wyndmoor, PA 19038 within Ward #5 of Springfield Township.

The plan calls for the development of two new single family dwellings on the 2.17 acre site. Pine Road is proposed to be extended with the "T" turn around to allow access to the new homes. Each lot will be a minimum of .85 of an acre and both proposed lots comply with the dimensional requirements of the A-Residential District. Both proposed dwelling units are shown to be served by public water and public sanitary sewer service. The plans submitted for review also include the proposed on-site storm water management details and the proposed landscaping plan.

This meeting will be held in person within the Board Room of the Springfield Township Administration Building Located at 1510 Paper Mill Road, Wyndmoor, PA 19038. Residents that are unable to attend this meeting, may submit their comments by way of email to the address listed below. Please submit your comments no later than 4:00 p.m. on Tuesday, September 21, 2021.

A copy of the plan and the application are posted on the Township's website, www.springfieldmontco.org. If you have any questions, please feel free to contact me at 215-836-7600, ext. 1114 or by email mpenecale@springfieldmontco.org.

Sincerely,
Mark A. Penecale
Director of Planning & Zoning
Springfield Township



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

APPLICATION FOR SUBDIVISION APPROVAL

A. Application is hereby made for approval by the Board of Commissioners of the attached Subdivision Plan.

B. Name of Subdivision: Wyndmoor Court

Location: 7602 Pine Road, Wyndmoor, PA 19038

C. Name of Owner: RB Ashley Custom Homes LLC

Address: 1011 Ridge Road

Pottstown, PA 19465

Phone #: (610) 422-1000

D. Name of Applicant: Rotelle Dev. Co. c/o Stephanie Clark

Address: 1011 Ridge Road, S. Coventry, PA 19465

Phone #: 610-422-1000

E. Name of Engineer, Surveyor, or Planner responsible for preparation of the plan

Brynn Schaffer, PE, PLS - Carta Engineering

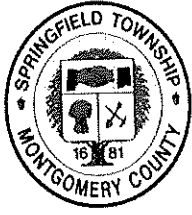
Address: PO Box 135, Bethel, PA 19507

F. Existing Zoning Classification: A - Residential

Total Acreage: 2.17 Number of Lots: 2

Sewerage: Public Private _____
Water: Public Private _____

G. Does this application meet all the requirements of the existing Zoning Classification? (✓) Yes () No (if no, attach a list of variances and/or special exceptions)



SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL

H. Is the property subject to any encumbrances, deed restrictions, etc.? () Yes
(✓) No (if yes, attach a copy)

I. List any additional materials submitted with this application

- 1.
2.
3.
4.
5.

J. Springfield Township Fee Schedule (non-refundable):

Checks must be made payable to "Springfield Township".

Subdivision Fee Schedule

Table with 4 columns: Use, Sketch Plan, Preliminary Plans, Final Plans. Rows include Residential and Nonresidential with associated fees.

K. Escrow Fund

The escrow account shall be established based on the following calculations:

Minor Subdivision (4 lots or fewer) \$500.00 per lot
Major Subdivision (5 or more lots) \$1,000.00 per lot

Total Escrow Account \$ \$1,000

Type text here

L. Springfield Township Application Fees

Sketch Plan Fee \$

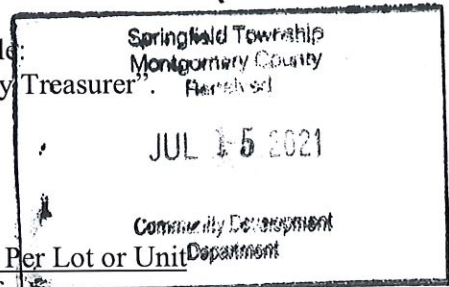
Preliminary Plan Fee \$



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

Final Plan Fee \$ 700.00
 Total \$ ~~4,700.00~~ 700.00 MAP Check # 101604

M. Montgomery County Planning Commission Fee Schedule:
 Checks should be made payable to "Montgomery County Treasurer".



Residential Subdivision:

<u>Number of Lots or Units (whichever is greater)</u>	<u>General Fee + Fee Per Lot or Unit</u>
1 - 3	\$150 (flat fee)
4 - 20	\$180 + \$23 per unit
21 - 100	\$450 + \$21 per unit
101 +	\$1,060 + \$20 per unit

Lot Line adjustments with no new development = \$65 flat fee

Nonresidential Subdivision:

<u>Number of Lots</u>	<u>General Fee + Fee Per Lot</u>
1 - 3	\$555 (flat fee)
4 or more	\$555 + \$88 per lot

Total \$ n/a Check # _____
 (previously reviewed)

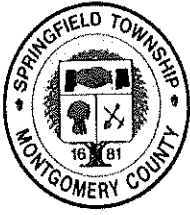
N. Signature

The undersigned represents that to the best of his/her knowledge and belief, all of the above statements are true, correct and complete.

In the event the applicant wishes to have the review by the Township discontinued, the applicant will notify the Township immediately, in writing, and processing of the review will be terminated upon receipt of such written notification to the Township, it being understood that all bills accrued to date of termination will be paid.

June 18, 2021
 DATE

[Signature]
 SIGNATURE OF APPLICANT



SPRINGFIELD TOWNSHIP APPLICATION FOR SUBDIVISION AND LAND DEVELOPMENT APPROVAL

SUBDIVISION PROCEDURES

All applicants must complete the Application for Subdivision Approval to follow and submit it to the Office of Community Development with the following information:

- A. Six (6) sets of stapled and folded plans.
- B. Prevailing application fees must be paid to Springfield Township at the time of application. Only checks or money orders will be accepted by the Code Enforcement Department. All application fees are deposited into the general revenue fund.
- C. Prevailing application fees and a Request for Review by the Montgomery County Planning Commission. All checks must be made payable to the Montgomery County Treasurer and submitted to Springfield Township at the time of application (see MCPC review form and fee schedule).
- D. A professional services agreement with the requisite financial security must also be submitted at the time of application. The financial security may be established at a financial institution of the applicant's choice. **The Township will not accept cash or checks for escrow purposes.**
- E. Required Stormwater Management calculations.
- F. Subdivision and Land Development checklist.

A copy of the plans will be forwarded to all Township review boards as required. Comments from the review boards are due to be submitted to the Manager's Office within 60 days of the date of the application.

The applicant has the ability to waive the 90-day review period. If additional time is required, the applicant may consider granting an extension. All extensions and waivers must be done in writing.

Once the Planning Commission and all other review boards have completed their reviews, the Board of Commissioner will act on the plan at its next public meeting. Unless waived or an extension is granted, a decision by the Board of Commissioners must be rendered within 90 days per the Pennsylvania Municipalities Planning code (MPC).

**REFER TO CHAPTER 95 "SUBDIVISION OF LAND" FOR COMPLETE
APPLICATION MATERIALS AND PLAN REQUIREMENTS**

CARTA ENGINEERING

**CONSULTING * CIVIL ENGINEERING * SITE PLANNING
LAND DEVELOPMENT * LAND SURVEYING**

August 17, 2021

Mark Penecale, Planning Director
Springfield Township
1510 Paper Mill Road
Wyndmoor, PA 19038

RE: Wyndmoor Court
2-Lot Subdivision Application

Dear Mr. Penecale:

The plans and application have been amended to address concerns outlined in Woodrow & Associates, Inc. letter dated July 27, 2021. The following responses correspond to those outlined in that letter.

Threshold Issues:

1. The applicant has requested a site meeting with the Township engineer to review the scope of restoration within Pine Road.
2. A revised Stormwater Management Report has been included for your consideration.

A. Approvals/Permits/Reviews – the applicant acknowledges the need for various agreements with BCWSA, Aqua and Springfield Township and will execute said agreements as necessary.

B. Granted Approvals/Reviews Permits – as noted, the plan has received correspondence approving the Sewage Planning Module Exemption, Aqua PA water service letter, and BCWSA capacity letter.

C. Waivers Granted – the plan is revised to list the granted waivers.

D. Outstanding Reviews

- **Springfield Township, Boucher & James Review Letter dated December 1, 2016 Subdivision & Land Development Ordinance Comments**

1. Sanitary and Storm Sewer profiles are provided on the plans.
2. The plan is updated to provide slope information in accordance with Article XIIB.
3. An accounting of the number of trees for removal has been added to the plans (See sheet 3 of 10).
4. Once the Township is satisfied that the technical comments re addressed, the seals, including the Landscape Architect Seal will be affixed to the plan.
5. As noted, the turnaround configuration has been approved by the Commissioners.
6. The handicap ramps are depicted and noted on sheet 4 of 10 and details for construction have been added to sheet 4.

7. The Landscaping Requirements are listed on Sheet 5 which include eight (8) Street Trees and eighteen (18) replacement trees based modified tree replacement standards that the Township previously specified. The plan proposes twenty-six (26) new trees to be planted and proposed to remove twenty-three (23).

Additional Ordinance Comments

8. Chapter 92-9.C(2)(b) – Pavement Overlay for Utilities
The applicant has requested a site meeting with the Township engineer to review the scope of pavement restoration in Pine Road.

Stormwater Management Comments

9. Chapter 28-9.A – A stormwater report has been provided that compares total predevelopment flows to total post-development flows as requested.
10. Chapter 28-11.A – the applicant will provide a Stormwater Management Permit fee of \$1,025 for disturbance of 41,000 square feet.
11. Chapter 88-11.B - A copy of the DEP water Quality Spreadsheet has been included in the report.
12. All hydrographs used in the stormwater analysis have been provided in the report.
13. Additional testing for the storm tank systems was conducted by DelVal Soils on January 23, 2017. These results are included in the stormwater report.

• **Woodrow and Associates General Comments**

1. The site address in note 1, sheet 2 has been corrected.
2. Construction fencing has been added to the plan to delineate the disturbance area as requested.
3. The stormwater easement has been revised to encompass the level spreader.
4. The side yard setback labels have been corrected.
5. Proposed features are eliminated from the legend on the existing features plan.
6. The stone trench for Basin A has been expanded to 10 feet and the detail is revised accordingly.
7. The Lot 1 StormTank detail labels are corrected.
8. The stormwater routing calculations are revised to use a design safety factor on the exfiltration rates.
9. Erosion Control Items

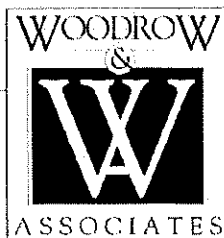
- Compost Filter Sock remains an ABACT Control.
 - The compost Filter Sock is adjusted to ensure full protection from the disturbance limits.
 - The stormwater report contains the requested compost sock worksheet.
 - Additional perimeter controls have been added downslope of the level spreader.
10. The inlet data and notes on sheet 4 for ST-04 has been made consistent with the detail and the stormwater routing.
 11. The structure and pipe schedule have been corrected to accommodate the level spreader revision.
 12. The inlet data and notes on sheet 4 for ST-04 has been made consistent with the detail and the stormwater routing.
 13. The pipe schedule on sheet 4 is amended to distinguish between the perforated and solid piping between ST-03 and ST-04.
 14. Additional information for the inflow pipe on the level spreader detail has been added to the plans.
 15. The references to an NPDES permit have been removed from the plans.
 16. The stormwater rainfall intensities were utilized from NOAA Atlas 14. The source of rainfall data is included in the report.

If you have any questions, or require any additional information, please contact me.

Sincerely,


Brynn Schaffer, PE, PLS

cc: Stephanie Clark, Rotelle (via email)
Tim Woodrow, PE (Woodrow & Assoc., via email)



July 27, 2021

Mark Penecale, Planning Director
Springfield Township
1510 Paper Mill Road
Wyndmoor, PA 19038

Reference: Wyndmoor Court – Two Lot Subdivision Application

Dear Mark:

My office is in receipt of a 10-sheet set of documents prepared by Carta Engineering of Bethel, Pennsylvania. The plan is dated June 15, 2021 and describes the subdivision of a two-acre parcel of ground located at the terminal end of Pine Road in our Wyndmoor Community into two lots. Please recall that this application received a preliminary plan approval from the Springfield Township Board of Commissioners at a meeting held on December 14, 2016. At that meeting certain waivers were granted from provisions of our subdivision ordinance. The granting of preliminary approval survives in perpetuity. However, there is only a protection from ordinance change for five years from the date of the action. Since this five-year period has lapsed, we will need to review the plan against any intervening ordinances that may have been adopted since the December 2014 meeting.

Threshold Issues:

1. My review of the plan would suggest that the most significant issue that need to be resolved is the degree of restoration required for Pine Road as utilities are proposed to be extended in the bed of the Cartway.
2. The application did not include a revised stormwater management report which must be provided and found acceptable.

A. Approvals/Permit/Reviews – Any final approval granted by the board of commissioners should be conditioned upon the applicant securing the following approval/permit/reviews:

- Bucks County Water and Sewer Authority – Main extension agreement.
- Aqua Pennsylvania – Water main extension agreement.
- Springfield Township – Stormwater operations and maintenance agreement.
- Springfield Township – Land development and financial security agreements.
- Springfield Township – Right-of-way dedication for Pine Road.
- Springfield Township – Approval of cul-de-sac access easement/turnaround.
- Springfield Township – Stormwater easement memorializing the Township's right to discharge water from Pine Road into the stormwater conveyance system for the subdivision by clearly indicating no obligation to maintain that system outside of the right-of-way.

July 27, 2021

Mark Penecale, Planning Director

Springfield Township

Reference: Wyndmoor Court – Two Lot Subdivision Application

- Springfield Township – Snow removal/parking easement encumbering lot number two

B. Approvals/Permits/Reviews – Granted

- PA DEP – sewage facilities planning approval dated November 14, 2017
- Aqua PA acknowledgment and confirmation of water availability dated June 30, 2021
- Bucks County water and sewer authority acknowledgment of capacity dated June 28, 2021

C. Waivers Granted – The board of commissioners granted waivers from the obligations found in the subdivision and land development ordinance. These waivers should clearly be enumerated on the record plan. Those waivers are as follows:

1. Chapter 95-10.F, which approves the proposed T-intersection dead-end extension of Pin Road
2. Chapter 95-10.I waiving the installation of concrete sidewalks throughout the development, but requires concrete sidewalk to be extended to the end of Pine Road with the installation of handicapped accessible ramps at the end of Pine Road.
3. Chapter 95-11.I.(11)(c) modifying the tree replacement schedule with the utilization of a rating scale which will require trees rated between seven out of ten and higher to be replaced at a rate of two to one trees removed, and trees with a rating of five or six out of ten to be replaced at a rate of one new tree for each one tree removed.

D. Outstanding Reviews -the Township's file contains two letters from Boucher and James engineers the first letter dated December 1, 2016 reviewing the subdivision application and a second letter dated April 18, 2017 reviewing sanitary sewer system details. This current review utilizes these earlier documents as the basis for comment along with any additional concerns that may be revealed during plan review.

- **Springfield Township, Boucher & James Review Letter dated Decelber 1, 20166**

Subdivision land development ordinance comments

1. Storm and Sanitary sewer profiles must be provided in accordance with Chapter 95-7.

Storm and sanitary sewer profiles have now been provided

2. Chapter 95-7.G.(1) – Requires areas of slopes of 10% or greater to be shown on the plan. The Existing Features & Demolition Plan (Sheet 3) must identify all areas onsite with a slope of 10% or greater. While the plan describes the slopes in excess of 10%, additional plan information must be provided to detail the amount of slopes disturbed versus the amount of slopes protected.

July 27, 2021
Mark Penecale, Planning Director
Springfield Township
Reference: Wyndmoor Court – Two Lot Subdivision Application

Slopes 10% and greater have been graphically added to the 'Existing Features and Demolition Plan', however, the requested additional plan information pursuant to Article XIIB – Regulations for Areas of Steep Slopes has not been added to the plans.

3. Chapter 95-7.G.(2) – Requires the location, size, species and condition of trees six inches in caliper or greater, standing alone or in small groups where affected by proposed construction to be labeled “To Remain” or “To Be Removed,” as applicable. All existing trees to be removed must be labeled as “To Be Removed” on the Existing Features Plan (Sheet 3). Existing trees have now been identified and categorized as to those to be removed and those to be maintained.

The requested tree information has been added to the plan. However, no accounting of the number of trees removed has been provided.

4. Chapter 95-7.H – A landscaping plan prepared by a licensed landscape architect must be provided for all subdivisions and all land developments. A licensed landscape architect must sign and seal the Landscape Plan.

A licensed landscape architect has not sealed the plans.

5. Chapter 95-10.F – Streets and roads shall not end in dead ends, except as specifically approved by the Board. The Board must approve of the proposed T-intersection dead end extension of Pine Road.

The board of commissioners has approved the turnaround configuration described on the plans.

6. Chapter 95-10.1 – Concrete sidewalks not less than four-feet wide each shall be provided on any street or road which is residential or commercial in character, except where otherwise permitted by the Board. The concrete sidewalk must be extended to the end of Pine Road at the curb radius. Accessible ramps must also be provided at the end of the sidewalk to create a crossing to the opposite side of Pine Road.

Sidewalks and accessible ramps - it is not clear that sidewalks and ramps have been provided with this revised submission set.

7. Chapter 95-11.I.(11)(c) – Specifies that any tree over three inches in caliper which must be removed shall be replaced at a rate of two new trees to each one tree removed with approved trees of two to 2 1/2 inches caliper. The Landscape Requirements table on the Landscape Plan notes that trees with a rating of at least 7 out of 10 were considered in the replacement tree calculations. The Landscape Requirements table must be revised to specify trees with a rating of 5 or 6 shall be replaced at a rate of 1 new tree for each tree removed and the replacement tree calculations must be revised as necessary.

It is not clear that this planting obligation has been addressed..

July 27, 2021
Mark Penecale, Planning Director
Springfield Township
Reference: Wyndmoor Court – Two Lot Subdivision Application

Additional Ordinance Comments:

8. Chapter 92-9.C(2)(b) – The Streets and Sidewalks Ordinance specifies that if more than 100 linear feet of longitudinal or transverse openings, or both, are made in the pavement, the Township reserves the right to require the applicant to overlay traffic lanes in which the openings were made, for the entire length of highway that was opened. The Site Improvement Plan proposes road openings for storm sewer, sanitary sewer, gas and water for a total of approximately 500 linear feet along Pine Road. It is recommended that the Township require an overlay of Pine Road for the extent of the utility trenches. We continue to suggest that the full length of pine road be milled and overlaid at the conclusion of the installation of utilities.

Stormwater Management Comments:

9. Chapter 28-9.A – Specifies there shall be no increase in stormwater peak discharge leaving the tract from the pre to post development conditions. The Post-Construction Stormwater Management Report only compares the peak flows from the post development bypass areas to the pre-development conditions for the entire site. The infiltration basins on Lots 1 and 2 must be modeled in the report and the excess flows from the 2, 10-, 25-, 50- and 100-year storms must be combined with the flows from the peak flows from the bypass area to determine the total peak flows in the post development condition.

Stormwater management calculations have not been provided.

10. Chapter 28-11.A – Requires that the applicant pay a Stormwater Management Permit fee of \$25 per 1,000 square feet or part thereof of any site undergoing earth-disturbing activities, provided that the minimum fee for any site shall not be less than \$100.00. Based on 40,435 square feet of disturbance, a Stormwater Management Permit fee of \$1,011.00 is required. The is now due.

11. Chapter 88-11.B – Requires that the BMPs be designed, implemented and maintained to meet state water quality requirements. The Post Construction Stormwater Management Report must demonstrate that the underground infiltration systems on Lots 1 and 2 are sufficient to meet the PA DEP water quality requirements.

Please submit a completed copy of DEP PCSM Spreadsheet, Water Quality tab, Version 1.8 (or newer if applicable) to show compliance with current PA DEP Water Quality requirements.

July 27, 2021

Mark Penecale, Planning Director

Springfield Township

Reference: Wyndmoor Court – Two Lot Subdivision Application

12. The Post Construction Stormwater Management Report only includes the hydrograph reports for the predevelopment conditions. The post development hydrograph reports must be included in the report to verify the information used to generate the post development values listed in the Hydrograph Summary Report.

No PCSM Report has been provided.

13. Based on the Test Location Plan in Appendix A of the Post Construction Stormwater Management Report, it appears that infiltration test pits 3 and 4 are closest to the underground infiltration beds on Lots 1 and 2. The Double Ring Infiltration report for Test Pit #3 (Lot 2) appears to indicate that the test was completed at an approximate elevation of 341.00. In addition, the report for Test Pit #4 (Lot 1) appears to indicate that the test was completed at an approximate elevation of 339.00. These elevations are not consistent with the bottom of stone elevations for the infiltration beds of 335.60 and 337.00 for Lots 1 and 2 respectively. Additional infiltration tests must be completed at the location and elevation proposed for the bottom of the infiltration beds.

No new testing has been provided.

- **Woodrow and Associates General Comments:**

1. Note Number One of the General Plan Notes found on Sheet No. 2 appears to show the address of the owner versus the address of the property. This note should be amended.
2. Erosion control plan should be supplemented by showing the installation of a limit of disturbance fence to assure that disturbance does not exceed the one-acre critical threshold.
3. On the 'Land Development – Record Plan', Sheet 2, it appears an additional stormwater maintenance easement will be necessary for the proposed Level Spreader area.
4. On the 'Land Development – Record Plan', Sheet 2, it appears the adjoining side yard setback between Lot 1 & 2 is incorrectly labeled as 23' and in fact should be labeled as the minimum side yard setback of 12'.
5. The Plan Legend on the 'Existing Features and Demolition Plan', Sheet 3, contains proposed features, these should be removed.
6. The 'Underground Basin 'A' – Section Detail' on Sheet 10 of the Plan Set notes an 8.0' wide trench, however, mathematically and within the Storm Report this trench is noted as being 9.5' wide, please revise.
7. Please revise the labeling of inflow and outflow points on the 'StormTank System – Lot 01' detail on Sheet 10.

July 27, 2021

Mark Penecale, Planning Director

Springfield Township

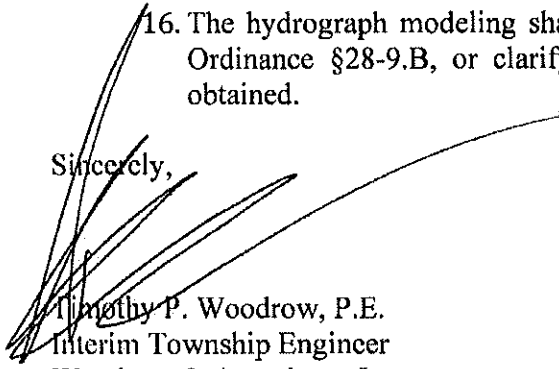
Reference: Wyndmoor Court – Two Lot Subdivision Application

8. Any Infiltration Rates utilized within a revised hydrograph modeling within the PCSM Report must reflect a design safety factor.
9. The onsite branch of Cresheim Creek is listed as an impaired waterway per the PA DEP eMap classification, and as such, per the latest guidance issued in December, 2019, Antidegradation Best Available Combination of Technologies (ABACT) controls must be implemented to prevent sediment-laden runoff from entering the water course. Further erosion control comments are as follows:
 - As mentioned, all E&S Control devices proposed for this project must be updated per the most recent PA DEP Erosion and Sediment Pollution Control Program Manual and/or PA DEP Alternative E&S and PCSM BMP guidance (version 1.8 or later if applicable) to ensure they qualify as an ABACT device.
 - It appears the proposed Compost Sock controls will not capture and treat the full extent of the proposed earth moving activities, please revise to ensure no sediment-laden runoff will reach the onsite branch of Cresheim Creek.
 - Please complete and submit Standard E&S Worksheet #1 to indicate the proposed Compost Socks have been adequately sized per the site slope.
 - It appears additional erosion controls will be required downslope of the Level Spreader construction to prevent sediment-laden runoff from entering the onsite branch of Chesheim Creek.
10. On the 'Site Improvements Plan', Sheet 4, the Structure Schedule information for Inlet ST-04 does not match the detail on Sheet 10 or the Basin Routing information in the PCSM Report.
11. On the 'Site Improvements Plan', Sheet 4, the Structure Schedule information lists an Endwall ST-05, however, this endwall does not appear to be shown on the plan set. There is also a pipe run in the Stormwater Piping Schedule indicating a pipe from Inlet ST-04 to Endwall ST-05.
12. On the 'Site Improvements Plan', Sheet 4, the Stormwater Profile information for Inlet ST-04 does not match the information in the Stormwater Structure Schedule, the detail on Sheet 10.
13. On the 'Site Improvements Plan', Sheet 4, the pipe length from ST-03 to ST-04 appears to have a combined length of the single 24" solid pipe, twin-24" perforated pipes, and single 24" solid pipe outlet to ST-04, the Stormwater Piping Schedule should be revised to provide further clarity in these pipe lengths and connections.
14. On the 'Post Construction Stormwater Management Plan', Sheet 8, please indicate the invert in, pipe length, and pipe slope of the inflow pipe into the Level Spreader.
15. Throughout the plan set there are notes referencing an NPDES Permit (i.e. in the Plan Legend, the Limit of Disturbance line type also references an NPDES Boundary). Since this project is not required to obtain an NPDES Permit, please remove all labels and plan notes referring to an NPDES Permit.

July 27, 2021
Mark Penecale, Planning Director
Springfield Township
Reference: Wyndmoor Court – Two Lot Subdivision Application

16. The hydrograph modeling shall utilize the storm intensities listed within Township Ordinance §28-9.B, or clarify where the currently utilized storm intensities were obtained.

Sincerely,



Timothy P. Woodrow, P.E.
Interim Township Engineer
Woodrow & Associates, Inc.

TPW/del

Cc
Mike Taylor, Township manager
Jim Garrity Esq., solicitor
Andy Freimuth, Esq., solicitor
Stephanie Clark, Rotelle builders
Brynn Schaffer P.E., Carta engineering



September 2, 2021

Mark Penecale, Planning Director
Springfield Township
1510 Paper Mill Road
Wyndmoor, PA 19038

Reference: Wyndmoor Court – Two Lot Subdivision Application

Dear Mark:

My office is in receipt of a 10-sheet set of plans prepared by Carta engineering of Bethel, Pennsylvania. The plan set bears an original date of June 15, 2021, having been most recently revised August 16, 2021. The submission is supplemented by a revised stormwater management report and a letter in response to comments made in earlier reviews by the Township. This application is made as a final plan submission pursuant to the resolution of preliminary plan approval granted in December, 2016. I am happy to report that the vast majority of plan revisions enumerated in my July 27, 2021, review, as well as the earlier Boucher and James's review of the application have been satisfactorily addressed. Final plan approval is appropriate, so long as the following obligations are provided or acknowledged:

A. Threshold Issues:

1. Pine Road – A satisfactory resolution as to the degree of improvements is required to the street once the utility lines have been run and construction is complete. Earlier reviews required that Pine Road receive a full mill and overlay paving. The current degree of improvement shown on the plan submission is not in an approvable condition.
2. A seal of the landscape architect must be affixed to the landscaping plans.
3. A cost estimate must be provided calculating the cost of both public and quasi-public improvements that are obligated under this plan.
4. An enlarged detail describing the terminal end of Pine Road must be provided. Specifically, we are looking for the plan to give clear direction to the contractor with regard to the placement of curbing, sidewalk, accessible ramps, and the blending of grade to support the construction of the turnaround/driveway interface.

September 2, 2021

Mark Penecale, Planning Director

Springfield Township

Reference: Wyndmoor Court – Two Lot Subdivision Application

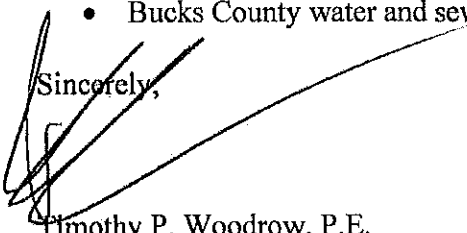
B. Approvals/Permit/Reviews – Any final approval granted by the board of commissioners should be conditioned upon the applicant securing the following approval/permit/reviews:

- Bucks County Water and Sewer Authority – Main extension agreement.
- Aqua Pennsylvania – Water main extension agreement.
- Springfield Township – Stormwater operations and maintenance agreement.
- Springfield Township – Land development and financial security agreements.
- Springfield Township – Right-of-way dedication for Pine Road.
- Springfield Township – Approval of cul-de-sac access easement/turnaround.
- Springfield Township – Stormwater easement memorializing the Township's right to discharge water from Pine Road into the stormwater conveyance system for the subdivision by clearly indicating no obligation to maintain that system outside of the right-of-way.
- Springfield Township – Snow removal/parking easement encumbering lot number two

C. Approvals/Permits/Reviews – Granted

- PA DEP – sewage facilities planning approval dated November 14, 2017
- Aqua PA acknowledgment and confirmation of water availability dated June 30, 2021
- Bucks County water and sewer authority acknowledgment of capacity dated June 28, 2021

Sincerely,



Timothy P. Woodrow, P.E.
Interim Township Engineer
Woodrow & Associates, Inc.

TPW/del

Cc: A. Michael Taylor, Township Manager – Springfield Township
James J. Garrity, Esq., Wisler Pearlstine, LLP. – Township Solicitor
Andrew R. Freimuth, Esq. – Wisler Pearlstine, LLP
Stephanie Clark, Rotelle Builders
Brynn Schaffer P.E., Carta Engineering

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

VALERIE A. ARKOOSH, MD, MPH, CHAIR
KENNETH E. LAWRENCE, JR., VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722
FAX: 610-278-3941 • TDD: 610-631-1211
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

August 10, 2021

Mark Penecale, Director of Planning & Zoning
Springfield Township
1510 Paper Mill Road
Wyndmoor, PA 19038

Re: MCPC # 21-0199-001
Plan Name: Wyndmoor Court
(1 lot comprising 2.042 acres)
Situate: 7602 Pine Rd: East Ln (N) Ivy Hill Road (S)

Dear Mr. Penecale:

We have reviewed the above-referenced land development plan in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on July 16, 2021. We forward this letter as a report of our review.

BACKGROUND

The applicant, Rotelle Development Co., has submitted a final subdivision plan proposing to subdivide the existing lot at 7602 Pine Road into two new lots and construct two new single family dwellings. Proposed Lot 1 will be approximately .86 acres and proposed Lot 2 will be approximately 1.13 acres. There is an existing two-story dwelling on the property that is proposed to be removed. According to the plans, the property also contains an old tennis court and pool that will be removed, although these structures are not discernable in current aerial imagery. The site contains existing steep slopes and the Cresheim Creek flows through the rear of the property. The property is located in the township's A residential zoning district. We previously reviewed a preliminary plan for this site on April 22, 2016 (MCPC #16-0092-001). The applicant submitted a final plan dated June 15, 2021, and the property will be served by public water and sewer.

COMPREHENSIVE PLAN COMPLIANCE

The Land Use element of the 2012 Springfield Township Comprehensive Plan identifies this property as a Medium Density Residential area. In addition, the site is also identified as a Suburban Residential Area in the Future Land Use Plan of the Montgomery County Comprehensive Plan, *Montco 2040: A Shared Vision*. Residential uses, such as the proposed single family detached homes, are consistent with both land use designations.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant’s proposal, however, in the course of our review we have identified the following issues that the applicant and Springfield Township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

LANDSCAPING

- A. Tree Rating Assessment. The tree assessment provided by the applicant on page 5 of the plan set is dated May 17, 2016, which is now over five years old. This may need to be updated in order to obtain a recent assessment of the health of trees currently on site, as this might affect the number of replacement trees required per section 95.11.1.(12)
- B. Number of Replacement Plantings. The applicant is proposing a one-to-one replacement for trees rated 5-6 (on a scale of 1-10) as opposed to the two-to-one tree replacement required in section 95.11.1.(12). The applicant should conform to this requirement or request a waiver from the Township.
- C. Additional Riparian Plantings. Additional plantings could be placed along the Cresheim Creek riparian corridor at the rear of the property to create a riparian buffer that could help stabilize the slopes, prevent erosion, and improve water runoff quality.

PEDESTRIAN CONNECTIVITY

- A. Sidewalks. It appears on the plan that the sidewalks along Pine Road will stop at the property line. We recommend that the sidewalks continue into the property up to the driveways for the proposed units. Additionally, the applicant should consider installing curb ramps and a crosswalk in the area, indicated in the image below, to facilitate safe pedestrian crossings.



ZONING

- A. Steep Slopes. The Township Engineer should confirm that all steep slope regulations are met per § 114-12.B.3.

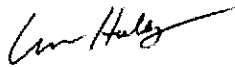
CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal to subdivide the existing lot and construct two new single family homes; however we believe that our suggested revisions will better achieve Springfield Township's planning objectives for residential development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files. Please print the assigned MCPC number (#21-0199-001) on any plans submitted for final recording.

Sincerely,



Aaron Holly, Community Planner
aholly@montcopa.org
610-278-3748

- c: Stephanie Clark, Applicant
- A. Michael Taylor, Springfield Township Manager
- Amanda Helwig, Chair, Springfield Township Planning Commission

Attachments: Appendix A - Aerial of Site
Appendix B - Reduced Site Plan

APPENDICES

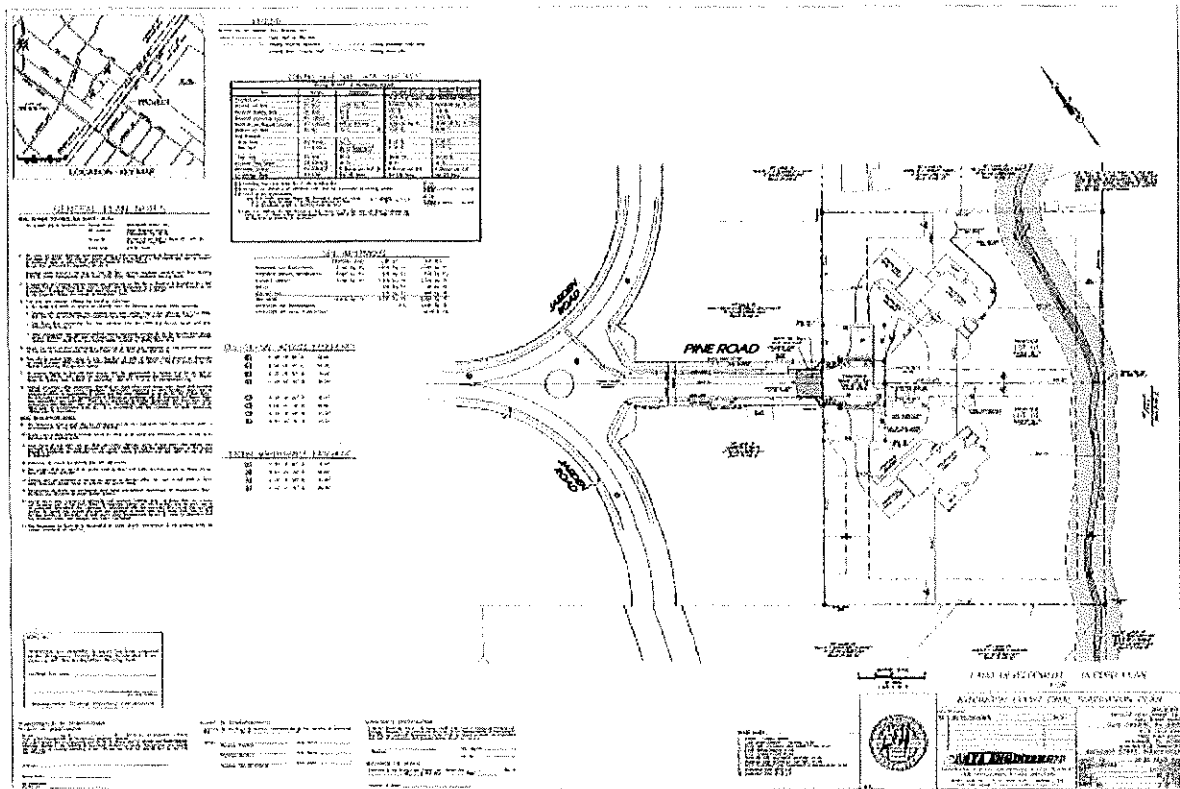
Appendix A: Aerial Photo of Site



Wyndmoor Court
MCPC #210199001

Montgomery
County
Planning
Commission
4400 Drexel University City/University Planning Commission
1500 Locust St. • Philadelphia, PA 19104-6211
610.251.2222 • 215.261.2241
www.montgomeryplanning.com
Aerial photography provided by www.aerial.com

Appendix B: Applicant's Plan





June 30, 2021

Brynn Schaffer, PE, PLS
Carta Engineering
9533 Old 22
PO Box 135
Bethel, PA 19507

Re: Water Availability
Wyndmoor Court
Pine Road - #7602
Springfield Township, Montgomery County, Pennsylvania

Dear Sir:

This letter will serve as confirmation that the above referenced project is situated within Aqua Pennsylvania, Inc.'s service territory. Service would be provided in accordance with Aqua Pennsylvania Inc.'s Rules and Regulations.

This proposed development will require a main extension for service to be available. A main extension plan, utilizing Aqua plan standards, must be prepared, and submitted to this office for review and approval. Following approval of the main extension design and plan, construction of the main extension project would be completed by the Builder under our standard Builder's Extension Agreement.

Flow data information may be obtained from our Production Department so that you may determine the adequacy of our supply for your project needs. You may email a request to Lisa Thomas at LThomas@Aquaamerica.com. Your request must include the address, street, cross street and municipality and all pertinent contact information.

If you require further information, please contact Mike Linkiewicz at (610) 645-4230.

Sincerely,

A handwritten signature in cursive script, appearing to read "Maureen E. Marrone".

Maureen E. Marrone
New Business Administration
Aqua Pennsylvania, Inc.

BCWSA



June 28, 2021

Timothy Woodrow, PE
Woodrow & Associates, Inc.
1108 N Bethlehem Pike

**RE: Wyndmoor Court LLC
TMP 52-00-14128-0047
7602 Pine Rd
Springfield Township**

Dear Ms. Acevedo:

Bucks County Water and Sewer Authority certifies that there is collection and conveyance capacity to receive the 500 gallons per day (250 GPD new flow and 250 GPD existing) for the above referenced property. This additional wasteload will not create a hydraulic or 5-year projected overload in the Springfield Township sanitary sewer system. Treatment capacity must be obtained from the City of Philadelphia.

Be advised that sewer capacity is not guaranteed unless the developer purchases (reserves) the capacity under a Sewer Connection Agreement with the Authority. Further, DEP Planning approval must be obtained prior to connection to the sanitary sewer.

However, in the event that the Pennsylvania Department of Environmental Protection or any other regulatory or governmental agency shall restrict or ban the Authority from connecting new customers to its facilities, the Authority does not represent or warrant that it will be able to accept sewage flows from the property described herein in the future.

If you require further information, please call this office.

Sincerely,

James Napoleon, Manager
Engineering/AMS/SCADA Manager
BCWSA
215-343-2538 x169



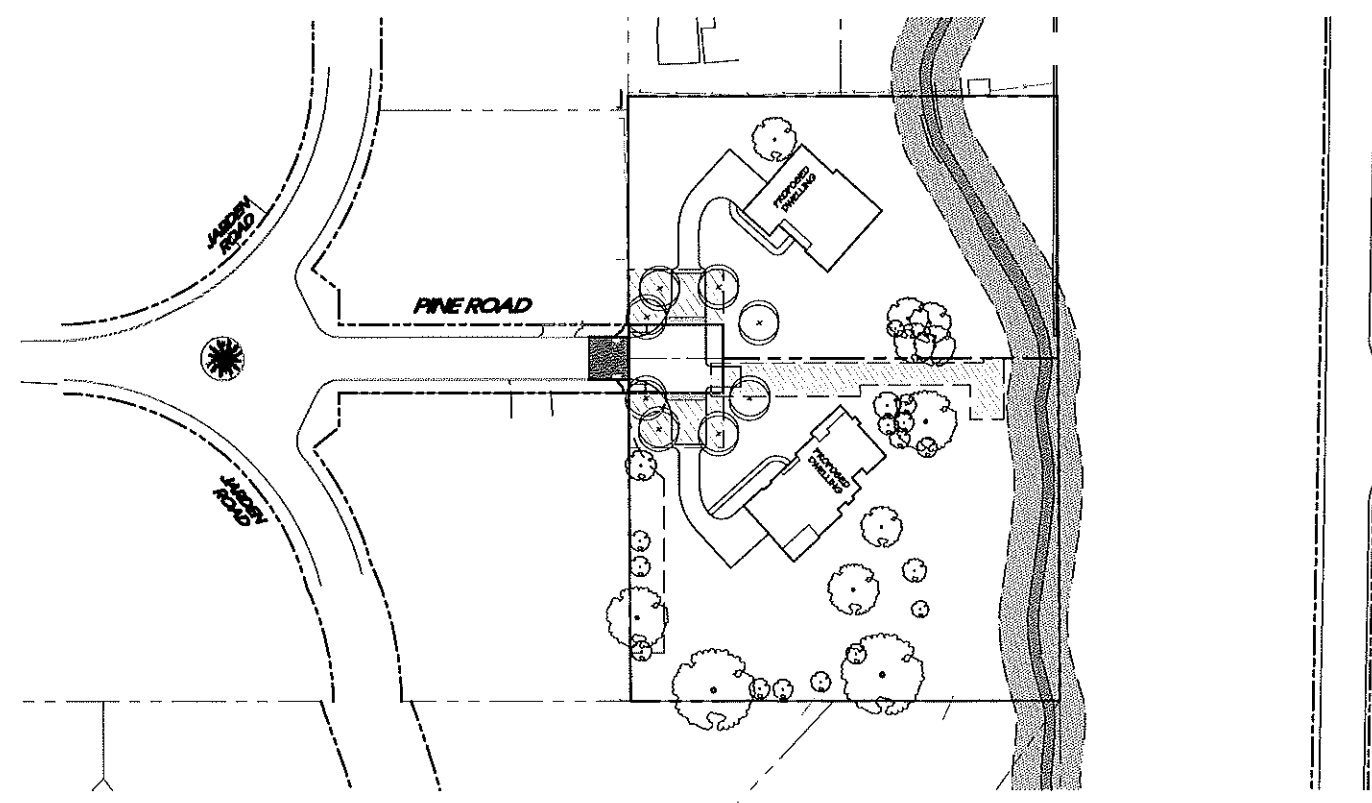
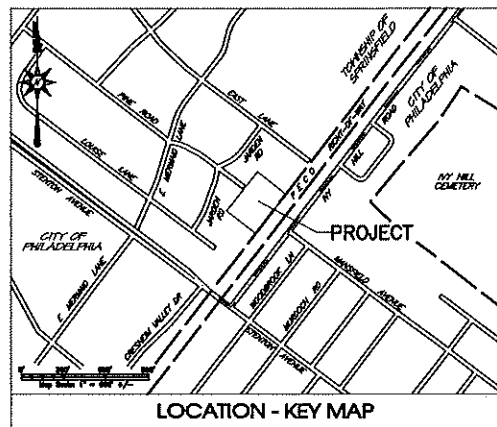
BCWSA
1275 Almshouse Road, Warrington, PA 18976
Phone: 215.343.2538
Fax: 267.200.0324
www.bcwsa.net



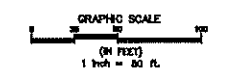
WYNDMOOR COURT

FINAL SUBDIVISION PLAN

SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY - PENNSYLVANIA



SITE LAYOUT



PROJECT APPLICANT:

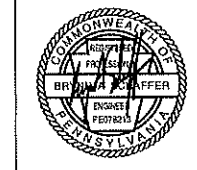
ROTELLE DEVELOPMENT CO.

1011 RIDGE ROAD
SOUTH COVENTRY, PENNSYLVANIA 19465

- SHEET INDEX**
1. COVER - INDEX SHEET
 2. LAND DEVELOPMENT - RECORD PLAN
 3. EXISTING FEATURES AND DEMOLITION PLAN
 4. SITE IMPROVEMENT PLAN
 5. SITE LANDSCAPING PLAN
 6. EROSION AND SEDIMENT CONTROL PLAN
 7. POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 8. CONSTRUCTION DETAILS

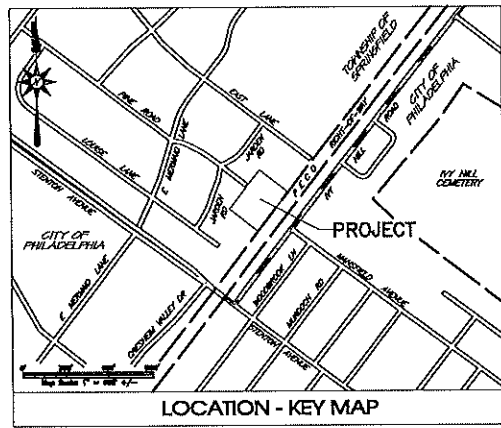
COVER - INDEX SHEET
FOR

WYNDMOOR COURT FINAL SUBDIVISION PLAN



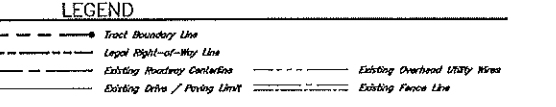
APPLICANT: ROTELLE DEVELOPMENT CO. 1011 RIDGE ROAD SOUTH COVENTRY, PA 19465	
SITE LOCATION: 7602 PINE ROAD WYNDMOOR, PA 19038 SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA	
PARCEL ID: 52-00-14128-004	DRAWN/CHECKED: DLH/BAS
DATE: 06/14/2024	SCALE: AS NOTED
PROJECT: 21-023	SHEET NO: 1 OF 10

CARTA ENGINEERING
CONSULTING * CIVIL ENGINEERING * SITE PLANNING
LAND DEVELOPMENT * LAND SURVEYING
9533 OLD 22 ~ P.O. BOX 135 ~ BETHEL, PA
717.742.4245 ~ bus.carta@outlook.com



GENERAL PLAN NOTES

- BASE EXISTING FEATURES AND SURVEY NOTES:**
- The project site is identified as: Record Owner: WYNDMOOR COURT, LLC
7802 PINE ROAD, PINE ROADS, PA 19383
Parcel ID: 52-00-14128-001 / Block 29 Unit 20
D.S. 5841 P.P. 550
Gross Area: 2.0421 Acres
 - The notes and boards illustrated were derived from a field survey performed by Woodrow & Associates, Inc. and a copy of record. This plan was prepared without the benefit of a Title Report and may be subject to additional rights of record that might be listed in a Title Report. Survey was performed in December of 2014.
 - Boundaries shown reflect a '08 Dec. 07 Min. 34 Sec.' corner-ductile-iron relation from Deed Bearing Book to match Pennsylvania South Zone 3002 State Plane Coordinate Bearing Data.
 - A topographic and utility features survey was performed for this site by Woodrow & Associates, Inc. The location of utility features is indicated by notes A through J below. Site boundary is a sanitary manhole located at the intersection of Jarden Road and Pine Road having a rim elevation of 363.42'. Survey prepared during the month of December, 2014.
 - This plan was prepared utilizing the following references:
a. Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
b. Existing State classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
c. Site Flood Plain Information has been obtained from the FEMA Map Service Center web site (<http://fema.gov/>).
d. Aerial photography and additional vertical datum references provided by the PA Special Data Access System (PSDAS). PAVAP data is based on PA State Plane (South) NAD83 horizontal, NAVD83 vertical datum. Flight data was Spring 2005, updated by 1000' flight 2010.
e. There has been no field investigation performed to verify any existence of any wetlands, waters of the U.S. or Commonwealth or Mineral Soils at the time of the site survey.
f. This site is located within Zone X, area identified as 'Area of Minimal Flood Hazard' as illustrated on Flood Numbers 42081003794 & 42081003836, effective date March 2, 2018 as prepared by the Federal Emergency Management Agency.
g. All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 181. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). That is 1- or go to www.pennstate.gov.
- BASE DEVELOPMENT NOTES:**
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
 - Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbances or grading work.
 - Legal rights-of-way with one per deed information, Ultimate rights-of-way which were derived from multiple encumbrances. The area between the project lines and the Ultimate Rights-of-way by law offered in perpetuity for dedication to the agency having jurisdiction over said right-of-way at time of dedication.
 - Contractor to ensure compliance with ADA regulations.
 - This project shall be served by public sanitary sewer and water services served by Bucks County Water and Sewer Authority.
 - Nothing shall be permitted to be set on, placed or planted within the area of any utility or storm water easement except fence or suitable ground cover.
 - Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (where applicable).
 - Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and perpetual part of the storm water management system for this Township, and as such, are to be protected, maintained and preserved in accordance with the approved final plans. The Township and/or its agents may reserve the right and privilege to enter upon such lands from time to time for the purpose of inspection of said storm water management system in order to determine that the structure design and integrity are being maintained.
 - The homeowner for each lot is responsible for repair and/or maintenance of the driveway within the Access Easements for such.



ZONING and SITE DATA SCHEDULE			
Item	Section	Requirement	Provided (LOT 01) / Provided (LOT 02)
Permitted Use	114-51A		(114-41A) SINGLE-FAMILY DETACHED DWELLING
Minimum Lot Area	114-52A	**16,250 Sq. Ft.	37,455.21 Sq. Ft. / 49,229.88 Sq. Ft. [3a]
Maximum Building Area	114-52B	20 %	7,87 % / 6.54 %
Maximum Impervious Cover	114-1283A	30 %	15.94 % / 12.78 % [3a]
Maximum Lot Regrade/Clearing	114-1283A/B	40% of Lot Area	14,982.08 Sq. Ft. / 19,691.86 Sq. Ft. [3a]
Minimum Lot Width	114-53	75 Ft.	85.05 Ft. / 85.00 Ft.
Yard Setbacks			
Front Yard	114-54A(1)	40 Ft.	81.56 Ft. / 81.56 Ft.
Side Yard	114-54B(1)	35 Ft. (Aggregate) / 12 Ft. (Minimum)	47.32 Ft. / 47.32 Ft.
Rear Yard	114-54C	25 Ft.	102.97 Ft. / 103.12 Ft.
Maximum Dwg Height	114-130A(1)	40 Ft.	40 Ft. / 40 Ft.
Off-street Parking	114-134A(1)	2 Spaces per Unit [2]	2 Spaces per Unit / 2 Spaces per Unit
Lot Average Slope	114-1282	See [3] Below	See [3] Below

[1] Extending from the street line to the building line.
 [2] Garages and driveways of individual units may be considered as parking spaces.
 [3] STEEP SLOPE REGULATIONS:
 per 114-1282: Average Slope (S) formula in percent, where $S = \frac{R}{L} \times 100$
 R = Lot Area in Sq. Ft., L = Contour Interval in Feet.
 L = Combined Length of Contour Lines in Feet.
 [a] per 114-1283A: For lots having an average slope of 10-15%, Min Lot Area increased by factor of 1.3. Have a Max. Impervious Cover of 30% & No more than 40% of Lot may be regraded or cleared of vegetation.
 ** Based on slope, minimum lot size is increased by 30% to 16,250 Sq. Ft.

SITE IMPERVIOUS			
EXISTING SITE:	LOT 01:	LOT 02:	
BUILDINGS AND STRUCTURES:	2,150 Sq. Ft.	2,965 Sq. Ft.	3,419 Sq. Ft.
CONCRETE (WALKS/HARDSCAPE):	8,920 Sq. Ft.	210 Sq. Ft.	179 Sq. Ft.
ASPHALT PAVING:	1,765 Sq. Ft.	2,014 Sq. Ft.	2,015 Sq. Ft.
WALLS:	127 Sq. Ft.	37 Sq. Ft.	48 Sq. Ft.
CUL-DE-SAC:	638 Sq. Ft.	638 Sq. Ft.	638 Sq. Ft.
SITE TOTAL:	12,835 Sq. Ft.	5,972 Sq. Ft.	16,554 Sq. Ft.
PROPOSED LOT DISTURBANCE:	14,785 Sq. Ft.	16,554 Sq. Ft.	
PROPOSED LOT AREA PERCENTAGE:		39.47 %	33.63 %

CUL-DE-SAC ACCESS EASEMENTS

- (B) N 35° 16' 50" E 32.00'
 (C) S 54° 43' 10" E 55.05'
 (D) S 35° 16' 50" W 19.50'
 (E) N 54° 43' 10" W 55.05'
- (G) N 35° 12' 50" E 32.00'
 (H) S 54° 43' 10" E 55.00'
 (I) S 35° 12' 50" W 32.00'
 (J) N 54° 43' 10" W 55.00'

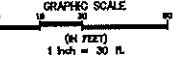
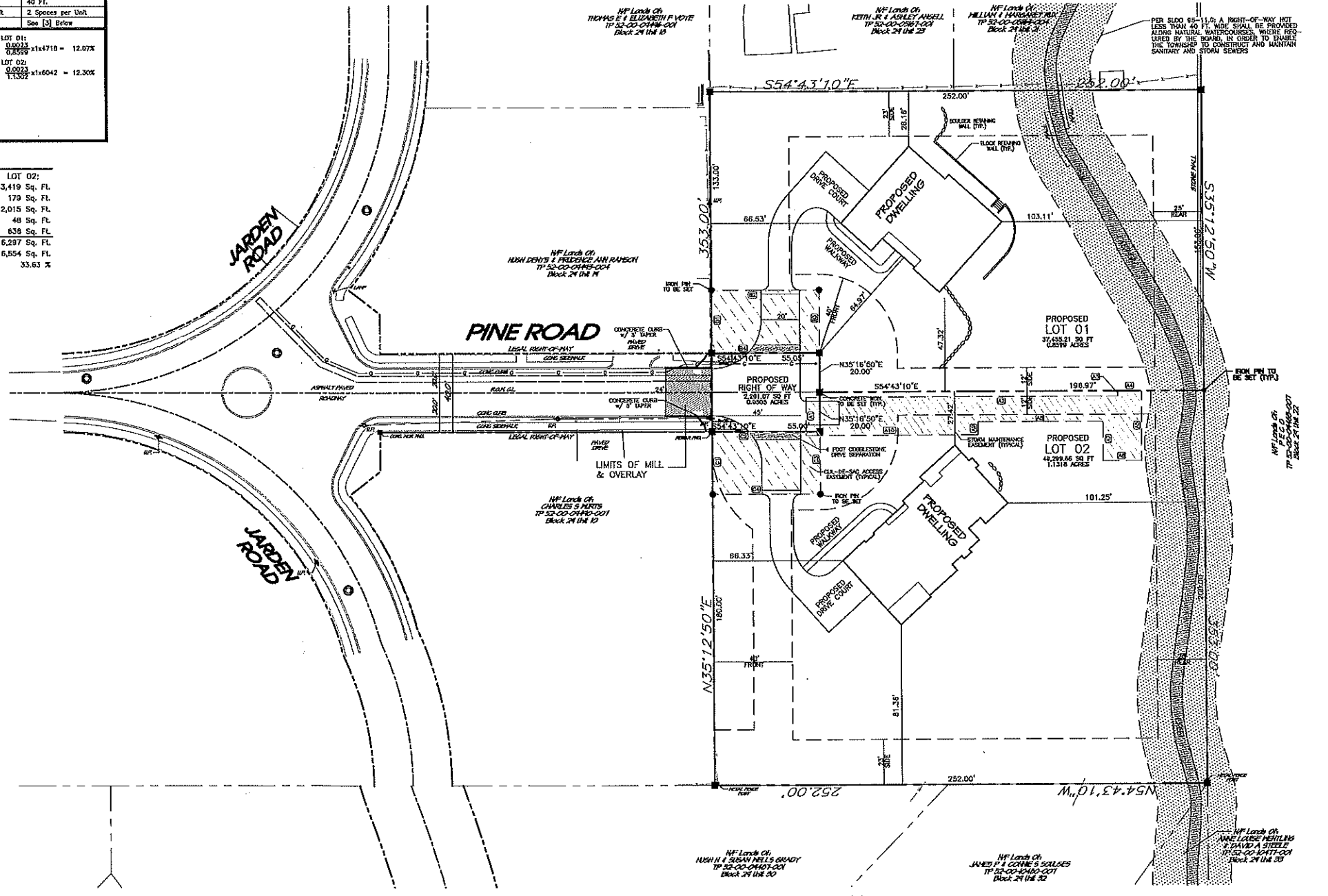
STORM MAINTENANCE EASEMENT

- (A) N 35° 16' 50" E 19.50'
 (B) N 54° 43' 10" E 160.00'
 (C) S 35° 16' 50" W 2.71'
 (D) S 54° 43' 10" E 12.00'
 (E) S 35° 16' 50" W 35.65'
 (F) N 54° 43' 10" W 20.00'
 (G) S 35° 16' 50" W 20.00'
 (H) N 54° 43' 10" W 64.00'
 (I) S 35° 16' 50" W 6.57'
 (J) N 54° 43' 10" W 88.00'

WARNERS

THE SPRINGFIELD TOWNSHIP BOARD OF COMMISSIONERS GRANTED MATIERS FROM THE FOLLOWING SECTIONS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

- CHAPTER 95-10.F - APPROVING THE PROPOSED T-INTERSECTION DEAD END OF PINE ROAD.
- CHAPTER 95-10.I - MAINTAINING INSTALLATION OF CONCRETE SIDEWALK THROUGHOUT DEVELOPMENT, BUT REQUIRES CONCRETE SIDEWALK TO BE EXTENDED TO THE END OF PINE ROAD WITH THE INSTALLATION OF HANDICAPPED ACCESSIBLE RAMP AT THE END OF PINE ROAD.
- CHAPTER 95-11.1(1)(C) - MODIFYING THE TREE REPLACEMENT SCHEDULE WITH THE UTILIZATION OF A RATING SCALE WHICH WILL REQUIRE TREES RATED BETWEEN SEVEN OUT OF TEN AND HIGHER TO BE REPLACED AT A RATE OF TWO TO ONE TREES REMOVED, AND TREES WITH A RATING OF FIVE OR SIX OUT OF TEN TO BE REPLACED AT A RATE OF ONE NEW TREE FOR EACH ONE REMOVED.



LAND DEVELOPMENT - RECORD PLAN FOR

WYNDMOOR COURT FINAL SUBDIVISION PLAN

REVISIONS:	NO. / DATE:	DATE:	APPLICANT:
1. PER TOWNSHIP REVIEW	1 / 6/16/21	6/16/21	ROTELLE DEVELOPMENT CO. 1011 RIPOLE ROAD SOUTH COVENTRY, PA 19468
SHEET INDEX:		SITE LOCATION: 7802 PINE ROAD WYNDMOOR, PA 19098 SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA	
1. COVER - INDEX SHEET	2. LAND DEVELOPMENT - RECORD PLAN	3. EXISTING FEATURES AND DEMOLITION PLAN	4. SITE IMPROVEMENT PLAN
5. SITE LANDSCAPING PLAN	6. EROSION AND SEDIMENT CONTROL PLAN	7. EROSION AND SEDIMENT CONTROL PLAN	8. POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
9. CONSTRUCTION DETAILS	10. CONSTRUCTION DETAILS	PARCEL ID: 52-00-14128-004 DRAWN/CHECKED: DLH/BAS DATE: 06/15/2021 SCALE: AS SHOWN PROJECTS: 21_023 SHEET NO: 2 OF 10	



CARTA ENGINEERING
 CONSULTING • CIVIL ENGINEERING • SITE PLANNING
 LAND DEVELOPMENT • LAND SURVEYING
 9893 OLD 22 P.O. BOX 198 BETHEL, PA
 717.742.4245 • www.cartaing.com

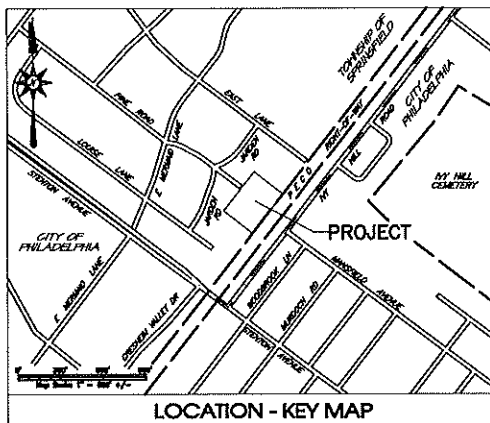
MCPG No.:
 PROCESSED AND REVIEWED. A report has been prepared by the Montgomery County Planning Commission in accordance with the Municipality Planning Code.
 Certified this date: _____
 For the Director
 Montgomery County Planning Commission

COMMONWEALTH OF PENNSYLVANIA
 COUNTY OF MONTGOMERY
 On the _____ day of _____, 2021, before me, the undersigned, a Notary Public of the Commonwealth of Pennsylvania, personally appeared _____ who acknowledged the accompanying plan to be an official plan of the subdivision and land development in the Township of Springfield, Montgomery County, Pennsylvania, and stated that said plan was recorded according to law. Witness my hand and Notarial Seal the day and year first above written.

BOARD OF COMMISSIONERS:
 Approved by the Board of Township Commissioners of the Township of Springfield on the _____ day of _____, 2021.
 ATTEST: Signature, President _____ Date Signed: _____
 Signature, Secretary _____ Date Signed: _____
 Signature, Township Engineer _____ Date Signed: _____

SURVEYOR'S CERTIFICATION
 I, BRUNN SCHWARTZ, P.L.S., do hereby certify that I am a Registered Professional Surveyor. I have examined the accompanying plan and the data thereon and certify that this plan correctly represents a survey made by myself or under my supervision and that all dimensions and graphic details shown are correct.
 Signature: _____ Date Signed: _____
 LIC. No.: _____

RECORDED OF DEEDS
 Recorded in the Montgomery County Deed Book _____ of _____
 Recorded in Plot Book _____ Page _____ of _____
 Recorder of Deeds: _____



CALL 1-800-242-1776
PROJECT SERIAL NUMBER FOR DESIGN:
20143441234
December 10, 2014

PA ONE CALL -- USERS LIST

THE FOLLOWING LIST OF MEMBER UTILITY USERS SHALL BE NOTICED AS PER THE ACT 187 PENNSYLVANIA ONE CALL SYSTEM (800) 242-1776:

USER	ADDRESS	CONTACT/ EMAIL
Springfield Township	1510 Paper Mill Road Wynmoor, PA 19038-7032	Donald G. Sienko, Jr dsienko@springfieldmontco.org
Dorcas Cable of Wilcox Grove, Inc.	4400 Wynne Ave. Philadelphia, PA 19140	Bob Harvey bob.harvey@wilcox.com
Comcast Cable Communications, Inc.	1 Apollo Road Plymouth Meeting, PA 19462	Tom Dempsey
AQUA Pennsylvania, Inc.	782 West Lancaster Avenue Bryn Mawr, PA 19010	Steve Pizzi spizzi@aquapenn.com
PECO Energy	450 S. Henderson Road, Ste B King of Prussia, PA 19406	Gavin Hewitt gavin.hewitt@peco.com
Philadelphia City Water Dept.	1101 Market Street 2nd Floor 804 Tower Philadelphia, PA 19107-2994	Eric Penart eric.penart@phila.gov
Verizon Pennsylvania, LLC	100 Shreve Blvd. Suite 2100 Eaton, PA 19341	Kathy Blount kathy.blount@verizon.com

GENERAL PLAN NOTES

BASE EXISTING FEATURES AND SURVEY NOTES:

- The project site is identified as: Record Owner: WYNDMOOR COURT, LLC
Site Address: 7602 Pine Road
Springfield Twp, PA
Parcel ID: 52-00-1412B-004 / Block 29 Unit 20
Gross Area: 2.6421 Acres
- The notes and bounds illustrated were derived from field survey performed during the month of December, 2014. This plan was prepared without the benefit of a title report and was prepared from documents of record. This property may be subject to easements or other rights that might be listed in a title report. Boundaries shown reflect a 108 Deg. 07 Min. 34 Sec. counter-clockwise rotation from Dead Bearing South to match Pennsylvania State Zone 3702 State Plane Coordinate Bearing South.
- The topographic and existing features information illustrated was compiled from field survey performed during the month of December, 2014. Site Benchmark is a stainless invarite located at the intersection of Pine Road and Jordan Road, having a rim elevation of 355.49. Site elevation datum is referenced per note 4.2 below.
- This plan was prepared utilizing the following references:
 - Tax maps and deeds of record as obtained from the Recorder of Deeds online resources.
 - Existing State classifications and mapping has been plotted from maps obtained from the USDA Web Soil Survey website (<http://websoilsurvey.sc.egov.usda.gov/>) unless otherwise noted.
 - Site Flood Plain information has been obtained from the FEMA Map Service Center web site (<http://mac.fema.gov/>).
 - Aerial photography and additional vertical datum references provided by the PA Spatial Data Access System (PASAS). PASAS data is based on PA State Plane (South) NAD83 horizontal, NAD83 vertical datum. Flight date was Spring 2008, updated by DNRPC flight 2010.
- There has been a field investigation performed by Doherty Soil & Environmental Consultants, Inc. on 08/18/2013. Results of their findings are shown herein.
- This site is located within Zone X areas identified outside the 500-Yr Floodplain as illustrated on Permittee Panel Number: 425308-0279E, effective date December 19, 1998 as prepared by the Federal Emergency Management Agency.
- All persons digging on this site shall comply with the requirements of Section 5 of PA Act 287 as amended by PA Act 191. State law requires a three (3) business day notice prior to any digging (does not include state holidays or weekends). Dial 8-1-1 or go to www.poonetool.org.
- Existing subsurface utility information illustrated on these plans was based upon visual field locations obtained as part of site survey operations. Information pertaining to size, location, depth, etc. of subsurface utilities is approximate in nature and has been obtained as an aid for the project design. The information provided is representative of subsurface conditions only at locations and depths where such information was available. There is no expressed or implied agreement that subsurface utility conditions exist between explored locations. Accordingly, utility information shown should not be relied upon for construction purposes. It is incumbent upon the contractor to verify subsurface utilities prior to excavation.

BASE DEVELOPMENT NOTES:

- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
- Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
- Legal right-of-way width are per deed information. Ultimate right-of-way width were derived from mapping ordinances. The area between the project Title Line and the Ultimate Right-of-Way is/are offered in perpetuity for dedication to the agency having jurisdiction over said right-of-way of time of dedication.

SITE IMPERVIOUS

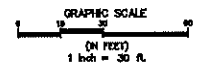
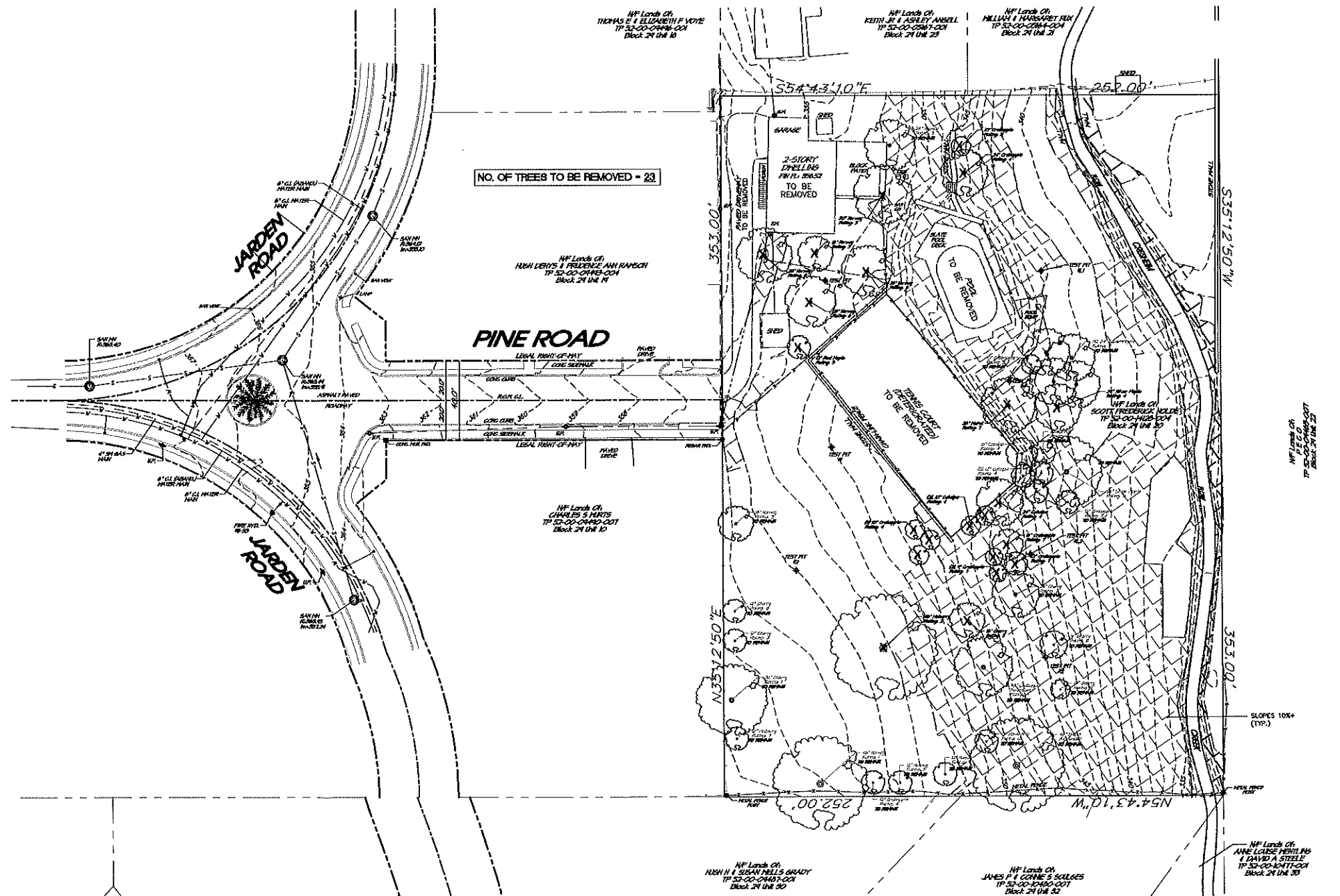
EXISTING SITE:	Area
BUILDINGS and STRUCTURES:	2,150 Sq. Ft.
CONCRETE (WALKS/HARDSCAPE):	8,920 Sq. Ft.
ASPHALT PAVING:	1,785 Sq. Ft.
SITE TOTAL:	12,855 Sq. Ft.

PLAN LEGEND

Iron Boundary Line	Existing Storm Sewer Piping
Legal Right-of-Way Line	Existing Sanitary Sewer Piping
Existing Roadway Centerline	Existing Gas Main
Mapped Wetlands Limits	Existing Water Main / Service
Existing Topographic Contours	Existing Overhead Utility Wires
Existing Soil Service Limits	Existing Underground Telephone
Existing Drive / Paving Limit	Existing Fence Line
Existing Vegetation Limit	Existing Vegetation Limit
Municipal Boundary Line	Existing Slopes >10%
Zoning District Boundary	Existing Tree To Be Removed

PROJECT SOILS DATA

Soils Type:	Slopes:	Depth to Restrictive Facies:	Depth to Water Table:	Hydrologic Soil Group:
Upland Urban Inland-Moderately sclerol & grass complex	0 to 8 percent	10-99" to Little Bedrock	60" +/-	C



EXISTING FEATURES AND DEMOLITION PLAN FOR

WYNDMOOR COURT FINAL SUBDIVISION PLAN

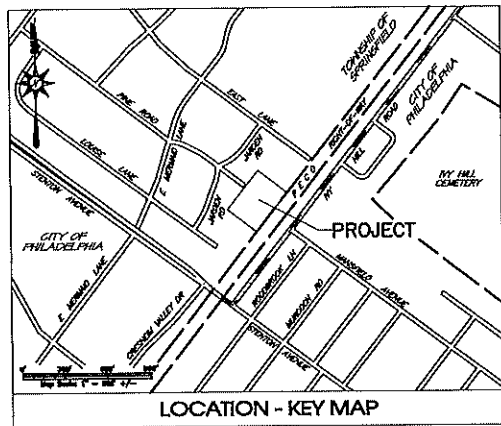
REVISIONS:	NOTES/REMARKS:	DATE:
1	PER TOWNSHIP REVIEW	8/16/21

APPLICANT:	ROTELLE DEVELOPMENT CO. 1011 RIDGE ROAD SOUTH COVENTRY, PA 19465
SITE LOCATION:	7602 PINE ROAD WYNDMOOR, PA 19038 SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA
PARCEL ID:	52-00-1412B-004
DRAWN/CHECKED:	DLH/BAS
DATE:	06/16/2021
SCALE:	AS NOTED
PROJECT:	52-00-1412B-004
SHEET NO.:	3 OF 10



- SHEET INDEX**
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 - EROSION AND SEDIMENT CONTROL PLAN
 - EROSION AND SEDIMENT CONTROL PLAN
 - POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 - CONSTRUCTION DETAILS

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STORMWATER STRUCTURE SCHEDULE

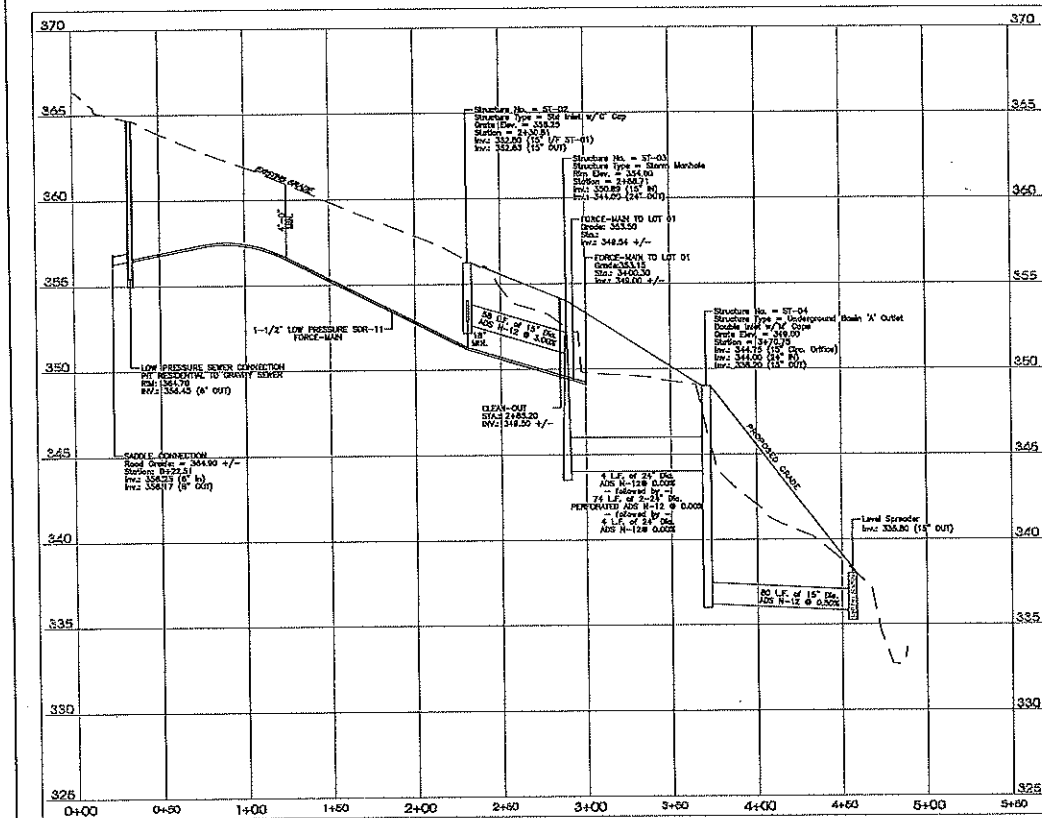
Structure No: ST-01 Type: Std Inlet w/C Cop Loc: Pipe Road Inv: 353.24 (15" Out)	Structure No: ST-04 Type: Underground Basin 'A' Outlet Structure w/ Double Type-M Top Loc: Lot 2 Rim: 349.00 Invt: 344.75 (15" C.O.) Inv: 344.00 (24" In) Inv: 336.20 (15" Out)
Structure No: ST-02 Type: Std Inlet w/C Cop Loc: Pipe Road Inv: 352.80 (15" In) Inv: 352.63 (15" Out)	Structure No: ST-03 Type: Storm MH Loc: Lot 2 Rim: 354.00 Inv: 350.89 (15" In) Inv: 344.00 (24" Out)

STORMWATER PIPING SCHEDULE

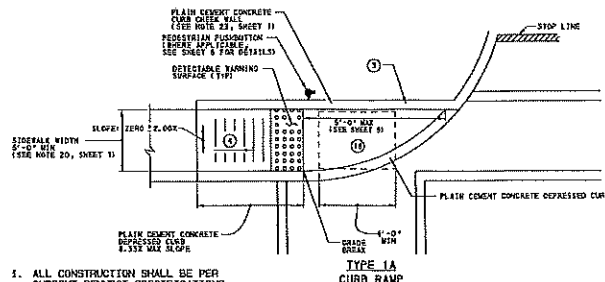
From	To	Length (L.F.)	Pipe Dia. (in)	Pipe Material	Slope (Percentage)
ST-01	ST-02	22	15"	ADS (N-12)	2.00%
ST-02	ST-03	58	15"	ADS (N-12)	3.00%
ST-03	ST-04	8	24"	ADS (N-12)	0.00%
ST-03	ST-04	74	2-24"	Perf. ADS (N-12)	0.00%
ST-04	LEVEL SPREADER	80	15"	ADS (N-12)	0.50%

GENERAL PLAN NOTES

- Refer to the Record Plan (Sheet 1) for 'BASE EXISTING FEATURES AND SURVEY NOTES' and 'BASE DEVELOPMENT NOTES'
- BASE CONSTRUCTION DESIGN NOTES:**
- The contractor shall ensure that all necessary permits and approvals have been obtained prior to commencement of any site construction activities.
 - Erosion and sedimentation control measures shall be in place and functional prior to any earth disturbance or grading work.
 - Contractor to ensure compliance with ADA regulations.
 - This project shall be served by public sanitary sewer and water services served by Bucks County Water and Sewer Authority. The proposed sanitary sewer shall be installed in accordance with Bucks County Water and Sewer Authority standards and details.
 - Utilities shall be permitted to be set on, placed or planted within the area of any utility or storm water easement except laws or suitable low ground cover.
 - Construction materials and procedures shall follow Pennsylvania Department of Transportation Specifications and Standard Drawings (latest edition).
 - Any/all storm water conveyance system(s) and detention facilities shown on these plans are a basic and partial part of the storm water management system for this tract, and the contractor shall be responsible for providing, maintaining and preserving in accordance with the approved final plans. The Township and/or its agents may reserve the right and authority to make any such modifications to the plans for the purpose of inspection of said storm water management system in order to determine that the structural design and integrity are being maintained.
 - The proposed finished grading shown on this plan has been based on the proposed building finished floor elevations and has been used to design the storm water management facilities. The contractor shall comply with the grading scheme indicated unless otherwise approved by the Township and the Project design architect.
 - A minimum of six (6) inches of clean topsoil shall be provided on all lawn and planting areas.
 - Site grading shall be performed in accordance with these plans. The contractor shall be responsible for removing and replacing all soil, yielding or unsuitable materials and replacing with suitable materials. All excavated or filled areas shall be compacted to 95% of modified proctor maximum density per ASTM Test D-1557, moisture content of less than 25% and shall be covered with a minimum of 2" of topsoil. Contractor shall submit a completion report prepared by a qualified soil engineer registered within the state where the work is performed, verifying that all filled areas and adjacent areas within the building pad area and areas to be paved have been compacted in accordance with these plans.
 - Subbase material for sidewalks, curbs, or asphalt shall be free of rocks and other unsuitable materials. Should subbase be dressed, suitable subbase to be removed and filled with approved fill material compacted to 95% maximum density (as determined by modified proctor method).
 - The minimum slope in paved areas shall not be less than 2% and the minimum in paved areas shall not be less than 1%.
 - Erosion control matting shall be provided on all earth slopes of 3:1 or greater.
 - A minimum vertical separation distance of 18 inches must be achieved between storm sewer/canopy pipe crossings. Any sanitary pipe crossing over a storm sewer pipe must be covered arched.
 - Grading and construction details including control panel, storm and electrical requirements must be submitted to the Township for review and approval prior to installation.



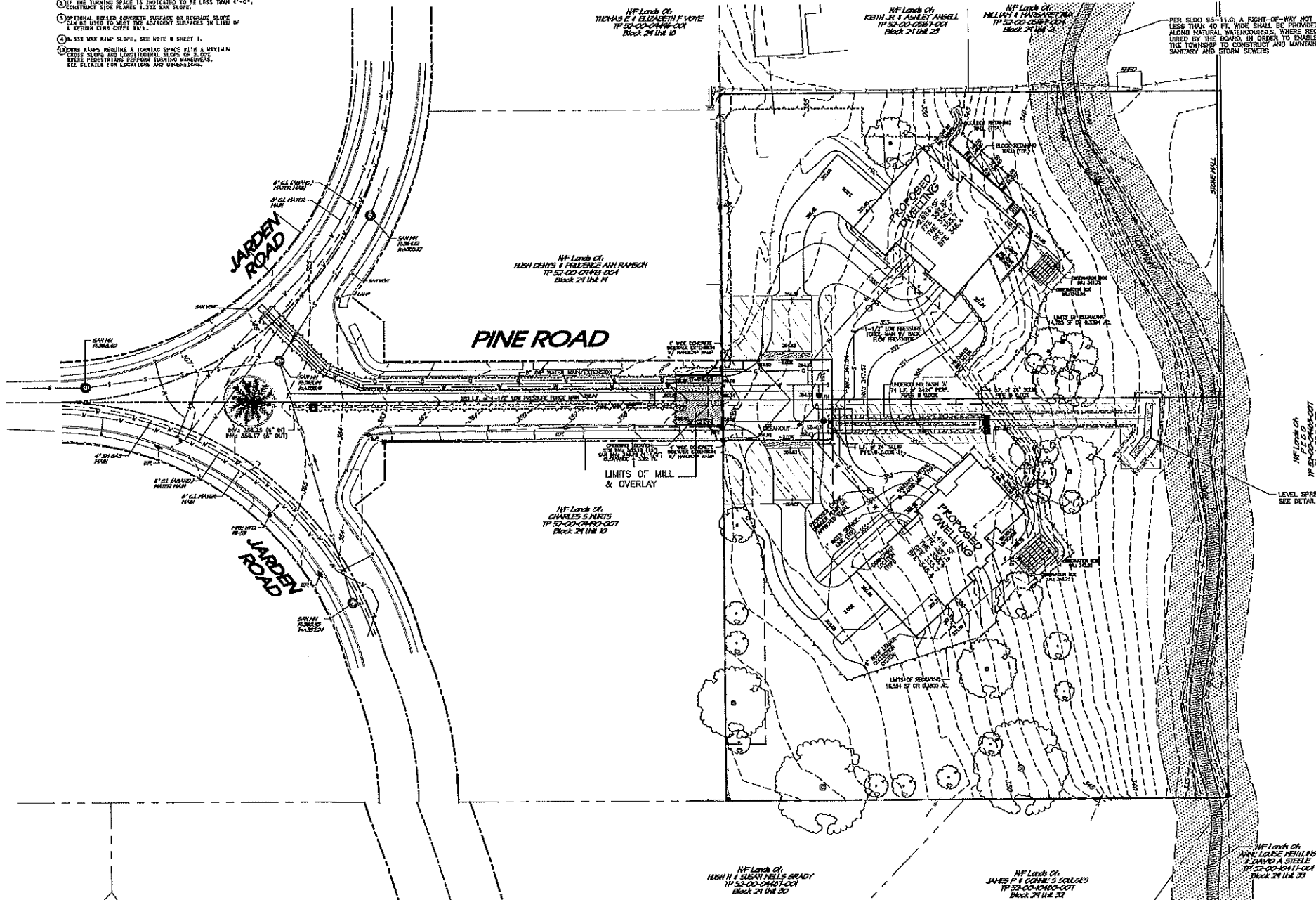
STORMWATER PROFILE
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=5'



- ALL CONSTRUCTION SHALL BE PER CURRENT PENNDOT SPECIFICATIONS.
 - REMOVE AND REPLACE EXISTING SIDEWALK AS NECESSARY TO ACHIEVE ACCEPTABLE SLOPES.
- ① SIDE FLARES 10.00% MAX SLOPE.
 ② IF THE TYPING SPACE IS INCREASING TO BE LESS THAN 4'-0",
 ③ OPTIONAL BELLER CONCRETE SURFACE OR RAINWATER SLOPE CAN BE USED TO MEET THE ADJACENT SURFACES IN LIEU OF A SECTION OVER CURB FALL.
 ④ 3.33% MAX RAMP SLOPE, SEE NOTE B SHEET 1.
 ⑤ CURB RAMP REQUIRE A TURNING SPACE WITH A MAXIMUM CURVE RADIUS AND MINIMUM SLOPE OF 2.00% THESE PRELIMINARY TURNING MOVEMENTS, SEE DETAILS FOR LOCATION AND DIMENSIONS.

PLAN LEGEND

Tract Boundary Line	Existing Storm Sewer Piping	Proposed Contour
Legal Right-of-Way Line	Existing Sanitary Sewer Piping	Temporary Erosion Control Grading
Existing Roadway Centerlines	Existing Gas Main	Proposed Gas Line
Mapped Wetlands Limits	Existing Water Main / Service	Proposed Water Line
Existing Topographic Contours	Existing Overhead Utility Wires	Proposed Stormwater Piping
Existing Soil Service Lines	Existing Underground Telephone	Proposed Stormwater Face Main
Existing Drive / Parking Limit	Existing Fence Line	Tree Protection Fencing
Existing Vegetation Limit	Existing Vegetation Limit	Temp Compact Filter Sock
Municipal Boundary Line	Existing Slopes > 10%	Temp Filter Fabric Fencing
Zoning District Boundary	Existing Tree To Be Removed	Limits of Disturbance
		Infiltration Testing Location



GRAPHIC SCALE
1 inch = 30 ft

SITE IMPROVEMENT PLAN FOR WYNDMOOR COURT FINAL SUBDIVISION PLAN

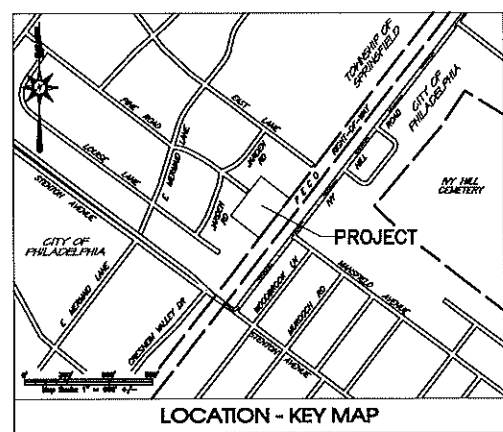
REVISIONS:	DATE:	APPLICANT:
1. NOTES/REMARKS	8/16/21	ROTELLE DEVELOPMENT CO. 1011 RIDGE ROAD SOUTH COVENTRY, PA 19488
2. PER TOWNSHIP REVIEW		SITE LOCATION: 7602 PINE ROAD WYNDMOOR, PA 19038 SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA

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PARCEL ID: 52-00-14128-004
DRAWN/CHECKED: DLH/BAS
DATE: 06/15/2021
SCALE: AS NOTED
SHEET NO: 21 OF 23



LANDSCAPING REQUIREMENTS

Item	Requirement	Provided
SALDO Section 95-11.1(1) Buffer	N/A for single-family, detached residences	
SALDO Section 95-11.1(2) Street Trees	Planted within front yard setbacks between 15-25' from the curb or edge of pavement. One (1) tree per 35 feet of street length. Min. 1 1/2" caliper. Caliper - soil bulb: 285' 285/35 = 8 trees	8 shade trees
SALDO Section 95-11.1(1) Standards for	Trees over 3" in caliper that are removed shall be replaced with improved trees of 2 - 2 1/2" caliper at a ratio of two new trees to each one tree removed. Five (5) trees (rating 7 or higher) greater than 3" caliper are proposed to be removed. ** Ten (10) replacement trees required. Eight (8) trees (rating 5 or 6) greater than 3" caliper are proposed to be removed. ** Eight (8) replacement trees required.	18 shade trees

** Based on site visit on 5/17/18 trees were given a condition rating from 1 to 10; 1 being the lowest and 10 being the highest. For purposes of replacement calculations only trees rated 7 or higher are proposed to be replaced at a ratio of two new trees for each one tree removed. ** Trees rated 5 or 6 are proposed to be replaced at a ratio of one new tree for each one tree removed.

A waiver is requested to allow for fewer replacement trees for those trees in less than good condition.

GENERAL PLAN NOTES

SEE RECORD PLAN FOR ALL EXISTING FEATURES AND GENERAL DEVELOPMENT NOTES.

SITE LANDSCAPING NOTES:

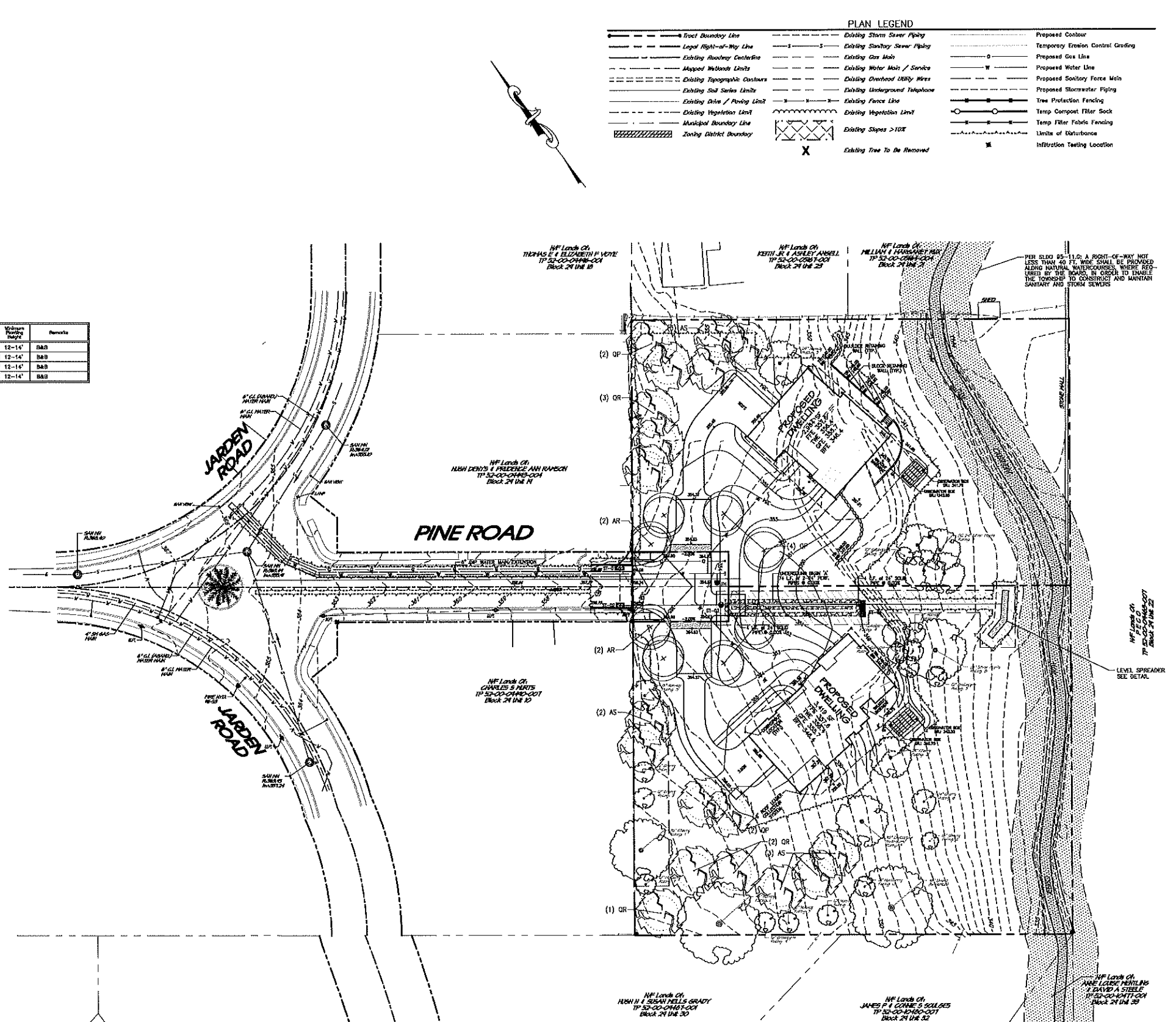
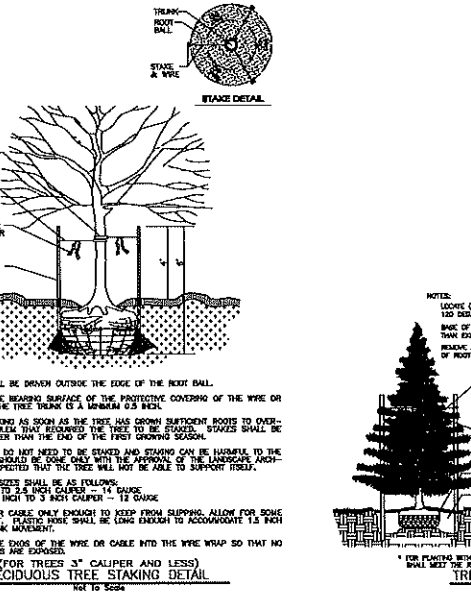
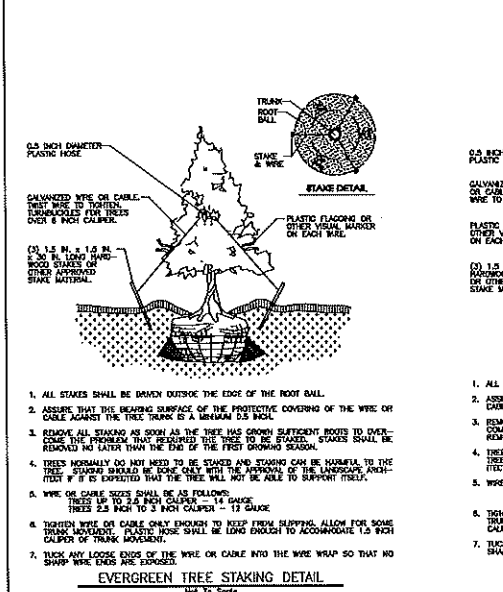
- All topsoil shall be a minimum 4" in all areas and 8" in trees, shrub and groundcover beds, including parking lot island beds.
- Planting behind perpendicular parking is to be located a minimum of 3' behind the curb line.
- All landscape and grass areas are to be hand raked and left clear of all stones, rock, construction debris and other undesirable materials.
- All landscape and grass areas are to be irrigated by automatic sprinkler system. (See Irrigation Specification.)
- Landscape contractor will locate all underground utilities prior to any excavation and planting installation.
- All areas to be landscaped or covered with stone must be treated with a pre-emergence herbicide (aerial, dusted or approved equal) in accordance with applicable federal, state regulations and the manufacturer's instructions.
- All landscape beds are to be delineated with 5/8" aluminum landscape edging, staked at 3' intervals. Aluminum edging is to be Clariflex 3/16" x 5/8" x 16" by Permco. (800-338-9886, www.permco.com.) Follow manufacturer's installation directions included at the end of this section.
- Landscape contractor to supply and install a pervious weed barrier (Durock, DuPont or approved equal) in accordance with manufacturer's installation within all landscapes, including stone and mulch beds. All weed barrier will be developed a minimum of 6" at all seams. At plant locations, barrier should be cut in an "X" pattern so to accommodate root ball and replaced after plant has been installed.
- Weed barrier shall not be visible in areas designated for stone mulch. When stone is called for adjacent to curb or sidewalk, it shall be fastened down to curb level from a distance 24" from the curb.
- All proposed landscaping to be nursery grown, typical of their species or variety. They are to have normal vigorous root systems, free from defects and infections and in accordance with ANSI Z60.1.
- All proposed plantings should be installed per standards of the American Association of Nurserymen and state nursery/landscape associations with regard to planting, pit size, bucket mixture, staking and staking.
- All planting containers and baskets shall be removed during planting. All plants shall be set plants and positioned so that the top of the root collar matches, or is no more than two (2) inches above, finished grade. Replicate container baskets in 6-inch layers and compost based if available. Contractor shall provide a four-inch high cardboard retaining sleeve along the perimeter of each planting pit. Contractor shall water newly planted vegetation prior to matching planting pit. All voids shall be filled and setting mitigated as required. Minimum setting shall be installed around all planting areas to delineate between different landscape materials.
- After initial watering and prior to matching, contractor shall apply herbicides and pre-emergent herbicides as required to eliminate any weed seeds or plants present on root ball.
- All planting beds and pits except for landscape islands adjacent to the building and designated area of this site shall be mulched with a minimum of 2" of mulch. Landscape islands adjacent to designated area of fuel storage shall be mulched with 1" of "River Stone" mulch. For landscapes adjacent to building, contact project engineer.
- Seedbed Preparation:
 - Apply limestone and fertilizer according to soil tests or fertilizer may be applied at the rate of 200 pounds per acre or a pound per 1000 square feet using 10-20-10 or equivalent. In addition, 300 pounds 4-1-2 per acre or equivalent of slow release nitrogen may be used in lieu of limestone.
 - Work lime and fertilizer into the soil or broadcast to a depth of 4-inches with a disc, spring tooth harrow or other suitable equipment. The final harrowing or raking operation should be parallel to the general contour. Care should be taken to ensure uniform, fine seedbed is prepared. All that clay or silty soils and coarse sands should be rolled to firm the seedbed wherever feasible.
 - Topsoil needed just before seeding. If traffic has left the topsoil compacted, the area must be rolled and firmed as outlined below.
 - Gross seeding mixture and application rate:

Percentage of total weight	Application Rate	Seed Type	Minimum Germination Allowed
60 %	5-7 lbs/1000 sq. ft.	"TREXEL" Tall Fescue	90-97
35 %		"WOODROW" Perennial Ryegrass	90-98
5 %		"STREXER" Ryegrass	90-92
- In areas designated as soil, focus and is to be installed a minimum 4" topsoil. Areas to be seeded are to be prepared on noted above for seeded areas.
- Plant material shall be guaranteed for one year from the date of substantial completion. The contractor shall replace plants, dead, unstable, dying or damaged through loss of branches and/or foliage. Plants that are not in good condition at the end of the guarantee period shall be replaced with a good quality substitute.

It is understood that the owner shall assume responsibility for watering of plant material and lawn care beginning with the date of substantial completion.

PLANT SCHEDULE

Item	Quantity	Botanical Name	Common Name	Minimum Caliper	Planting Spacing	Minimum Planting Depth	Remarks
AR	4	Acer rubrum 'October Glory'	'October Glory' Red Maple	2 1/2"	5'-6"	12'-14"	BAB
AS	8	Acer saccharum	Sugar Maple	2 1/2"	5'-6"	12'-14"	BAB
QR	8	Quercus phellos	Willow Oak	2 1/2"	5'-6"	12'-14"	BAB
OP	8	Quercus rubra	Red Oak	2 1/2"	5'-6"	12'-14"	BAB



SITE LANDSCAPING PLAN FOR WYNDMOOR COURT FINAL SUBDIVISION PLAN

REVISIONS:

NO.	NOTES/REMARKS	DATE
1	PER TOWNSHIP REVIEW	8/15/21

SHEET INDEX

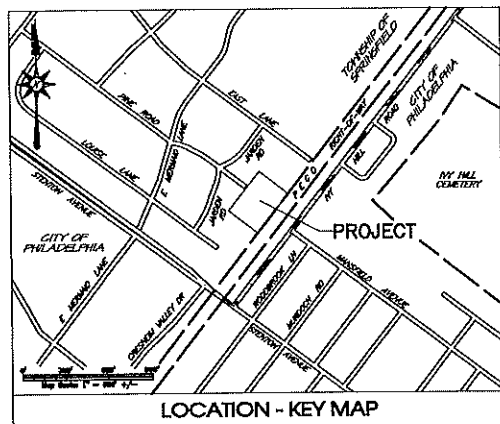
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APPLICANT:
ROTELLE DEVELOPMENT CO.
1011 RIDGE ROAD
SOUTH COVENTRY, PA 19465

SITE LOCATION:
7602 PINE ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

PARCEL ID: 52-00-1412B-004
DRAWN/CHECKED: DLH/BAS
DATE: 06/15/2021
SCALE: AS NOTED
PROJECT: 21-023
SHEET NO.: 5 OF 10

CARTA ENGINEERING
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LAND DEVELOPMENT & LAND SURVEYING
9533 OLD 22ND F. O. BOX 135 BETHEL, PA
717.742.4245 fax: cartaoutlook.com



Soil Type:	Slopes:	Depth to Restrictive Footing:	Depth to Water Table:	Hydrologic Soil Group:
UgB Upper loam-siltstone, clay, & gravel complex	0 to 8 percent	10-99" to Unk Bedrock	60" +/-	C

SILT FENCE SCHEDULE				
Fence No.	Location	Fence Type	Slope Length Above Fence	Filter Length (L.F.)
CS-1	HAINESHEAD	12" COMPOST SOCK	60	3.88K
CS-2	LOT 1	12" COMPOST SOCK	205	11.80K
CS-3	LOT 1 & 2	12" COMPOST SOCK	92	10.80K
CS-4	LOT-2	12" COMPOST SOCK	225	8.90K
SF-5	LOT-1	18" SILT FENCE	N/A	N/A
SF-6	LOT-2	18" SILT FENCE	N/A	N/A
CS-7	LOT-1	12" COMPOST SOCK	N/A	N/A
CS-8	LEVEL SPREADER	18" COMPOST SOCK	215	12.50K

TOTAL PROJECT DISTURBANCE:
0.94 ACRES

GENERAL PLAN NOTES

SEE RECORD PLAN FOR ALL EXISTING FEATURES AND GENERAL DEVELOPMENT NOTES.

EROSION CONTROL DESIGN:

- The Erosion & Sedimentation Control Plan shall minimize the extent and duration of earth disturbance to the greatest extent possible by outlining an efficient construction sequence to complete the proposed improvements as early as possible while adhering to the following Erosion and Sedimentation Control, as shown and detailed on this plan, to minimize any sedimentation, runoff, silt, erosion, and siltation. Proposed Erosion and Sedimentation Control Measures include: Silt Fence, Rock Construction Entrance and Tree Protection Fence.
- The Erosion & Sedimentation Control Plan shall maintain protection of existing drainage features and vegetation to the greatest extent possible by outlining the limits of disturbance to avoid impact to any natural drainage features.
- The Erosion & Sedimentation Control Plan shall minimize soil compaction to the greatest extent possible by minimizing traffic within the area of any utilized Sediment Basin, Sediment Trap, or similar BMP. Once it is constructed and functioning in an effort to preserve natural infiltration rates for Post-Construction conversion, soil compaction shall also be avoided by loosening the subsoil to a depth of 3 to 5 inches to permit the bonding of topsoil to the surface areas and recultivation of 8 to 12 inches for compacted soils prior to seeding. Feeding off of retention areas may be implemented as noted on the plans or in the provided Construction Sequence.
- The Erosion & Sedimentation Control Plan outlines controls to prevent and/or minimize the generation of increased stormwater through the use of a Perforated Filter Pipe within the Sediment Basin (if applicable), to capture, slow, and root runoff while allowing the natural infiltration properties in the soil in this location.
- Any proposed impervious areas, Rooftops, Pavement and Sidewalk areas, Etc. have the potential to increase thermal impacts to the watershed. Through the use of the proposed BMPs identified on the Plan and specifications for this Project, runoff is captured, slowed, and cooled to the greatest extent possible, thereby reducing the potential for thermal impacts to the watershed as much as possible.
- There are no naturally occurring geologic conditions on-site that could potentially cause pollution. All Erosion and Sedimentation Control (Sedimentation Basins, Compost Socks, Etc.) are proposed around the project site in an effort to minimize any construction related pollution from leaving the site.
- If bedrock is encountered during the construction of the proposed BMPs, the project engineer shall be consulted to ensure that the proposed BMPs will still function as designed.
- Sediment-laden runoff is an anticipated construction waste.

MAINTENANCE PROGRAM for EROSION & SEDIMENT CONTROL MEASURES

All Erosion and Sediment Control Measures require inspection and maintenance as specified below. A written report shall be completed and kept on-site at all times outlining any necessary maintenance and work that has been performed on the Erosion & Sediment Control Measures. The reports shall be updated and signed after each runoff event resulting from inspection. The engineer, their successors, or their assigns shall assume all responsibility for the cost associated with the inspection, cleaning, or replacement of said facilities.

TEMPORARY ROCK CONSTRUCTION ENTRANCE: (CONSTANT MAINTENANCE)

Rock construction entrance structures shall be constantly maintained to the specified dimensions by adding rock as needed. A stockpile shall be maintained on-site for this purpose. All sediment deposited on paved roadways shall be removed and returned to the construction site immediately. If excessive amounts of sediment are being deposited on roadway, extend length of rock construction entrance by 50-foot increments until condition is alleviated or until wash rock, washing the roadway or sweeping the deposits into roadway ditches, sewers, culverts, or other drainage courses is not acceptable.

PUMPED WATER FILTER BAGS: (DAILY MAINTENANCE)

Filter bags shall be inspected daily. If any problems are detected, pumping shall cease immediately and not resume until the problem is corrected.

COMPOST SOCK CONCRETE WASHOUT AREA: (DAILY MAINTENANCE)

- All concrete washout facilities should be inspected daily. Damaged or leaking washouts should be deactivated and repaired or replaced immediately.
- Accumulated materials should be removed when they reach 75% capacity.
- Plastic liners should be replaced with each cleaning of the washout facility.

ROCK FILTER OUTLET: (DAILY MAINTENANCE)

Sediment shall be removed when accumulations reach 1/3 the height of the outlet.

SILT FENCE: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

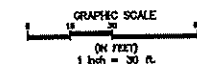
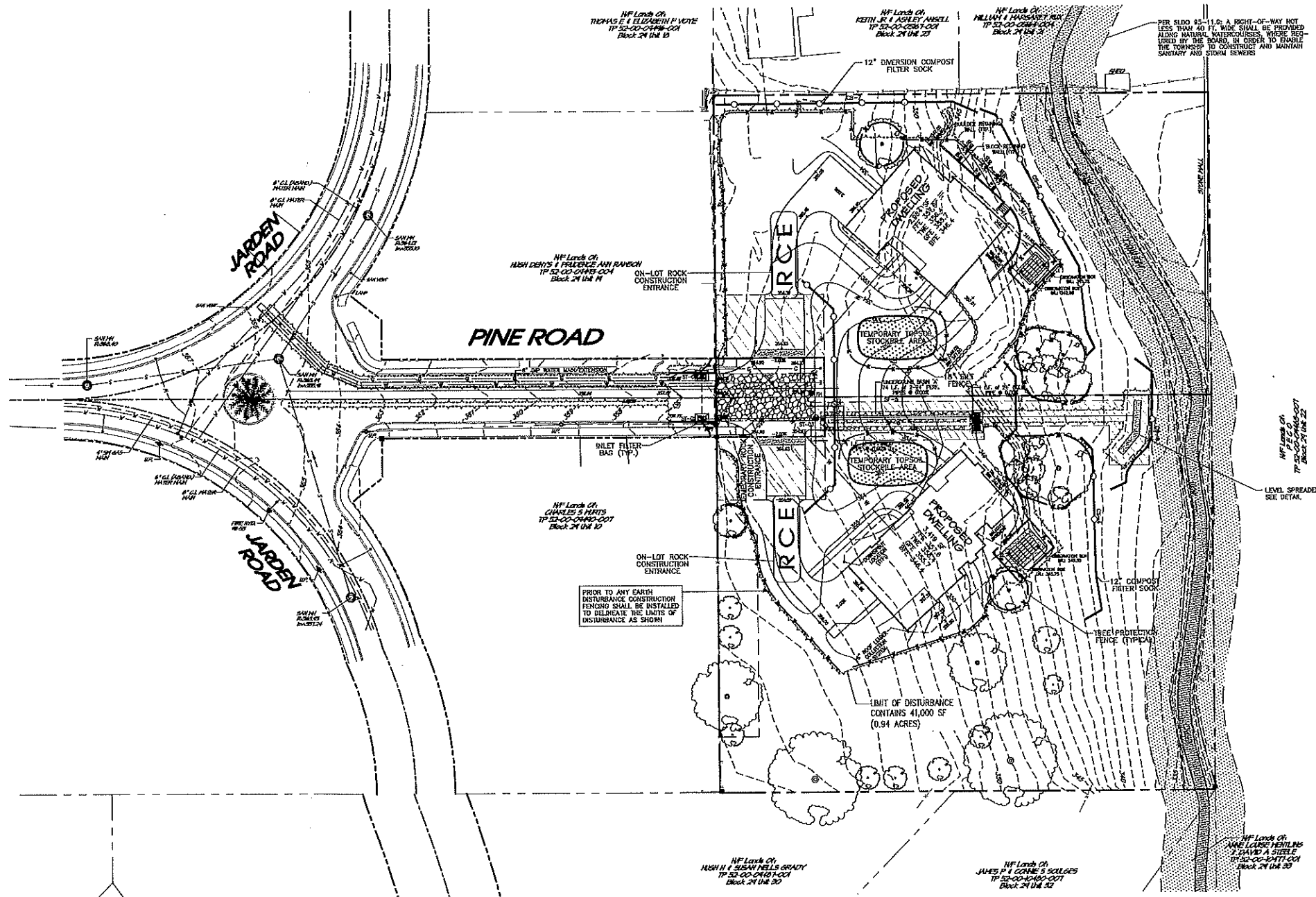
Silt fence should be inspected weekly and after each runoff event. Needed repairs should be initiated immediately after the inspection. Sediment shall be removed when accumulations reach half the aboveground height of the fence.

EROSION CONTROL BLANKET: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

Disturbed areas shall be inspected weekly and after each runoff event until perennial vegetation is established to a minimum uniform 70% coverage throughout the blanketed area. Damaged or displaced blankets shall be repaired or replaced within 4 calendar days.

COMPOST FILTER SOCK: (WEEKLY MAINTENANCE & AFTER EACH RUNOFF EVENT)

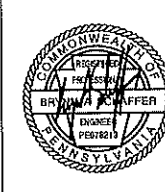
Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Biodegradable filter socks shall be replaced after 6 months post-construction or after 1 year. Polypropylene socks shall be replaced according to manufacturer's specifications.



EROSION AND SEDIMENT CONTROL PLAN FOR WYNDMOOR COURT FINAL SUBDIVISION PLAN

PLAN LEGEND	
--- Tract Boundary Line	--- Existing Storm Sewer Piping
--- Legal Right-of-Way Line	--- Existing Sanitary Sewer Piping
--- Existing Roadway Centerline	--- Existing Gas Main
--- Mapped Wetlands Limits	--- Existing Water Mains / Service
--- Existing Topographic Contours	--- Existing Overhead Utility Wires
--- Existing Soil Series Limits	--- Existing Underground Telephones
--- Existing Drive / Parking Limit	--- Existing Fence Line
--- Existing Vegetation Limit	--- Existing Vegetation Limit
--- Municipal Boundary Line	--- Existing Slopes >10%
--- Zoning District Boundary	--- Existing Trees To Be Removed
--- Proposed Contour	--- Temporary Erosion Control Grading
--- Proposed Gas Line	--- Proposed Water Line
--- Proposed Sanitary Force Main	--- Proposed Stormwater Piping
--- Tree Protection Fencing	--- Temp Compost Filter Sock
--- Temp Filter Fabric Fencing	--- Limits of Disturbance
--- Infiltration Testing Location	

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 - CONSTRUCTION DETAILS



REVISIONS:

NO.	NOTES/REMARKS	DATE
1	PER TOWNSHIP REVIEW	8/16/21

APPLICANT: ROTELLE DEVELOPMENT CO.
1011 RIDGE ROAD
SOUTH COVENTRY, PA 19405

SITE LOCATION: 7602 PINE ROAD
WYNDMOOR, PA 19038
SPRINGFIELD TOWNSHIP
MONTGOMERY COUNTY, PENNSYLVANIA

PROJECT: WYNDMOOR COURT FINAL SUBDIVISION PLAN

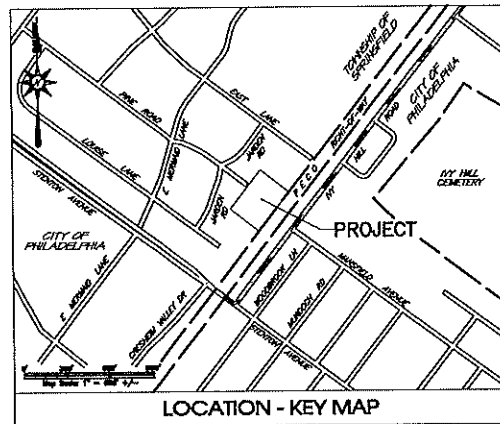
DATE: 06/15/2021

SCALE: AS NOTED

PRODUCT: 21.023

SHEET NO.: 6 OF 10

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B.M.P. MAINTENANCE PROGRAM

GENERAL NOTES:

The stormwater detention facility shown herein is a permanent B.M.P. structure and is not to be removed, altered or reconstructed in any way without the approval of the applicable municipality and/or the local County Conservation District and D.E.P.

All B.M.P.'s such as this basin and conveyance system require yearly inspection and maintenance to ensure the B.M.P.'s are functioning as designed. Maintenance of the system will include the removal of any debris and blocking of the system. An inspection report should be provided by a credible Engineering firm under the direction of a Licensed Engineer. The owner, the municipality, or the applicant shall assume all responsibility for the cost associated with the inspection, cleaning of the system, engineering fees and any costs associated with recommended repairs, and/or replacement of said facilities. Copies of the inspection report shall be forwarded to the applicable municipality for review and record keeping with their regulations.

During the construction phase of the project, the permittee shall be responsible for the proper construction, installation, and maintenance of all erosion and sedimentation control measures. The permittee shall also be responsible for the proper construction, installation and maintenance of all post construction stormwater management facilities identified in the PCSM Plan. The applicant shall assume responsibility for the operation and maintenance responsibilities of all post construction stormwater management facilities.

If at any point the basin fails to infiltrate the storage volume within 72 hours, the remaining water shall be immediately pumped into the Basin Outlet Structure and a certified professional contacted to investigate the cause and recommend a solution to the infiltration failure.

MAINTENANCE NOTES & SCHEDULE:

- Maintenance of the Basin Outlet Structures:** (After each runoff event)

The owner, his designee shall be responsible to ensure that the basin outlet structure is free and clear of any debris that would impede outflow from the basin. The outlet structure shall be inspected after each runoff event and cleaned as required.
- Maintenance of the storm sewer collection system:** (After each runoff event)

The owner, his designee shall be responsible to ensure that the storm sewer collection and down drain systems are free and clear of any debris. The system shall be inspected after each runoff event and cleaned if required.
- Maintenance of the downspout & roof leader collection systems:** (Quarterly)

The owner, his designee shall be responsible to ensure that the downspout and roof leader collection systems are free and clear of any debris. The system shall be inspected after each runoff event and cleaned if required. Quarterly flushing of the system shall be done to ensure the system is free and clear of any sediment and debris.
- Underground Detention facilities:** (After each runoff event)

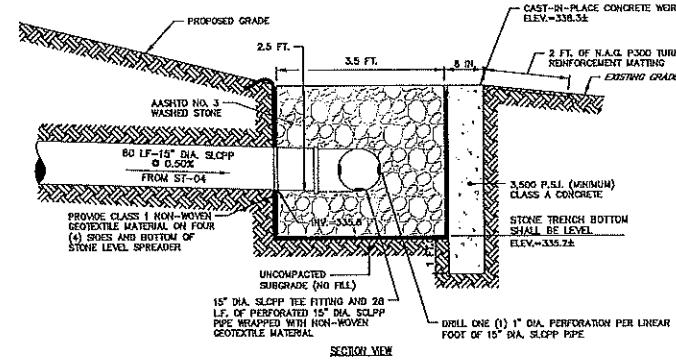
The owner, his designee shall be responsible to ensure that the underground Detention Basin is free and clear of any debris. The system shall be inspected after each runoff event and cleaned if required. Quarterly flushing of the system shall be done to ensure the system is free and clear of any sediment and debris.

GENERAL PLAN NOTES

- SEE RECORD PLAN FOR ALL EXISTING FEATURES AND GENERAL DEVELOPMENT NOTES.
- Sediment basin runoff is an anticipated construction waste.
 - The storm BMPs are proposed to minimize and mitigate any potential thermal impacts to surface runoff generated by an increase in impervious cover.
 - Proposed impervious has been minimized to the greatest extent possible.
 - Existing drainage features have been maintained and existing vegetation preserved where possible.
 - Land clearing and soil composition has been minimized to the greatest extent possible.
 - The proposed BMPs shall minimize change the direction and flow rate of storm runoff.
 - Runoff from the project site enters the Wissahickon Creek which is classified by Title 25 Environmental Resources Chapter 25.13 as 10B.
 - Through the use of the proposed BMPs, the source and volume of runoff has been reduced when compared to predevelopment conditions. Therefore, as designed, the project site will preserve the integrity of stream channels while the watershed and help to maintain and protect the physical, biological and chemical quality of the receiving stream.

SEDIMENT DISPOSAL:
 SR removed from permanent BMPs shall be disposed of on-site in landscaped areas located outside the 100 year flood plain, wetlands, steep slopes and drainage swales. Areas of sediment deposit shall be considered a critical vegetation area requiring immediate stabilization.

RECYCLING and DISPOSAL METHODS:
 The operator shall remove from this site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 2601 et seq. 2711 et seq. The contractor shall not bury, dump, or discharge any building material or wastes at this site.



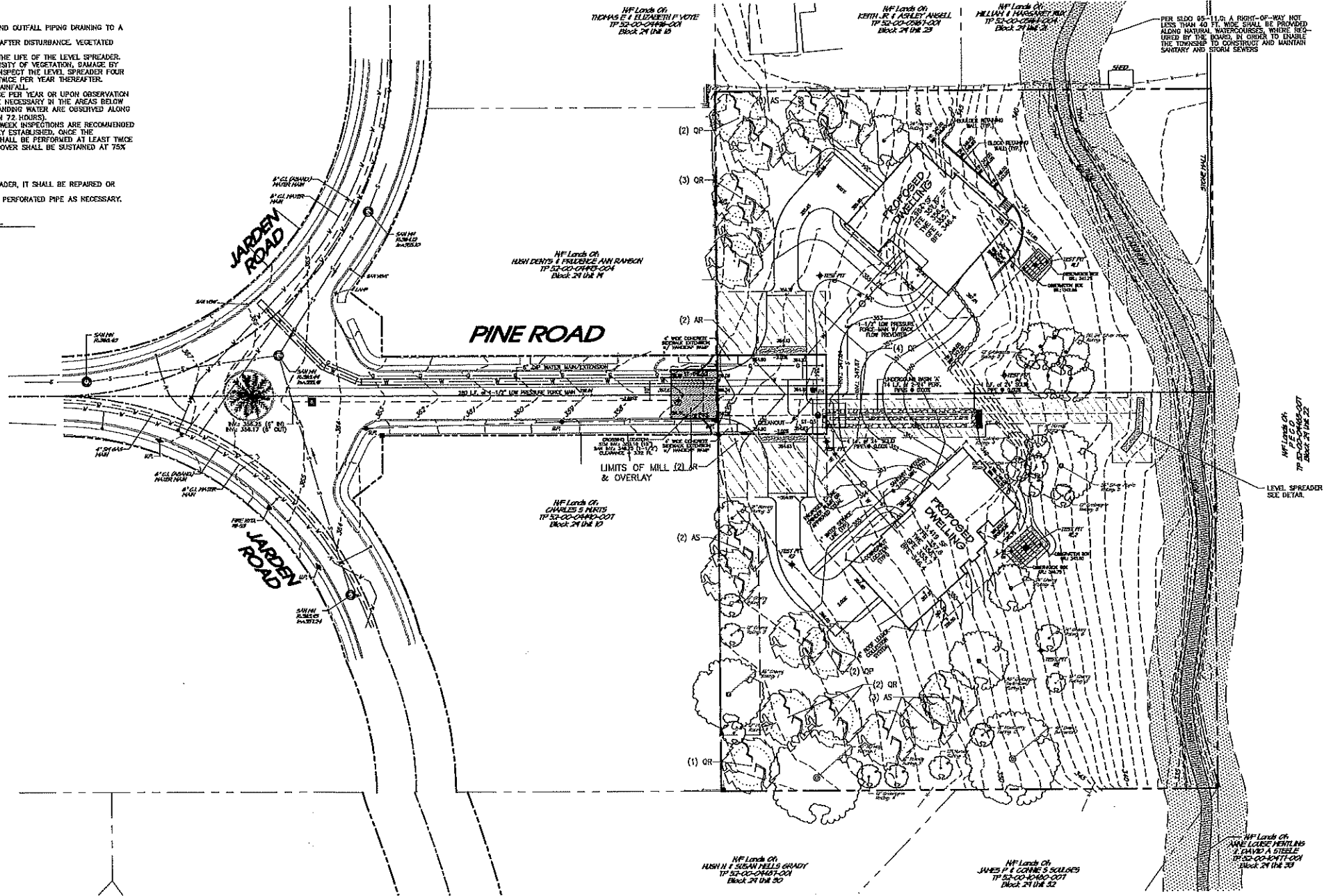
LONG-TERM INSPECTION / MAINTENANCE / REPAIRS FOR LEVEL SPREADER MAINTENANCE & INSPECTION:

- INSPECTION SHALL INCLUDE LEVEL SPREADERS AS WELL AS OUTLET STRUCTURES AND OUTFALL PIPING DRAINING TO A LEVEL SPREADER AND THE DOWNSLOPE AREAS.
- THE DOWNSLOPE AREAS SHALL BE IMMEDIATELY RESTORED TO DESIGN CONDITIONS AFTER DISTURBANCE. VEGETATED AREAS SHALL BE RESEED AND MAINTAINED.
- IT IS CRITICAL THAT EVEN SHEET FLOW CONDITIONS ARE SUSTAINED THROUGHOUT THE LIFE OF THE LEVEL SPREADER. THE AREA BELOW THE LEVEL SPREADERS SHALL BE INSPECTED FOR CLOGGING, DENSITY OF VEGETATION, DAMAGE BY FOOT OR VEHICULAR TRAFFIC, EXCESSIVE ACCUMULATIONS, AND CHANNELIZATION. INSPECT THE LEVEL SPREADER FOUR TIMES PER YEAR FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION AND THEN TWICE PER YEAR THEREAFTER.
- INSPECTIONS SHALL ALSO BE MADE AFTER STORM EVENTS EXCEEDING 1 INCH OF RAINFALL.
- SEDIMENT AND DEBRIS SHALL BE ROUTINELY REMOVED BUT NEVER LESS THAN TWICE PER YEAR OR UPON OBSERVATION WHEN BULDOZ OCCURS IN THE CLEAN OUTS. RE-GRAVING AND RESEEDING MAY BE NECESSARY IN THE AREAS BELOW THE LEVEL SPREADERS. RE-GRAVING MAY ALSO BE REQUIRED WHEN POOLS OF STANDING WATER ARE OBSERVED ALONG THE SLOPE (IN NO CASE SHOULD STANDING WATER BE ALLOWED FOR LONGER THAN 72 HOURS).
- UNWANTED OR INVASIVE PLANTS SHALL BE REMOVED ONCE PER YEAR. TWICE PER WEEK INSPECTIONS ARE RECOMMENDED FOR AT LEAST THE FIRST GROWING SEASON, OR UNTIL VEGETATION IS PERMANENTLY ESTABLISHED. ONCE THE VEGETATION IS ESTABLISHED, INSPECTIONS FOR HEALTH, DIVERSITY, AND DENSITY SHALL BE PERFORMED AT LEAST TWICE PER YEAR, DURING BOTH THE GROWING AND NON-GROWING SEASONS. VEGETATIVE COVER SHALL BE SUSTAINED AT 75% AND REPLACED IF DAMAGE GREATER THAN SIXX IS OBSERVED.

REPAIR OR REPLACEMENT - LEVEL SPREADERS:

- IF OUTFLOW IS NOT EVENLY DISCHARGING OVER THE FULL WIDTH OF THE LEVEL SPREADER, IT SHALL BE REPAIRED OR REPLACED BY ONE OF THE FOLLOWING STEPS:
- INSPECT PERFORATED PIPE TO ENSURE IT IS FREE OF CLOGS AND DAMAGE. REPLACE PERFORATED PIPE AS NECESSARY.

TYPICAL STONE LEVEL SPREADER DETAIL



INFILTRATION TESTING LOCATIONS

Test Pit No.	Existing Grade Elev.	Test Depth (Inches)	Test Depth Elev.	Bottom Elev of Faculty	Depth to Water (Inches)	Depth to Excession (Inches)	Tested Infiltration Rate (In/Day)
Lot 01	341.83	60"	338.85	338.75	83"	84"	1.75
Lot 02	343.50	36"	340.50	340.00	NC	60"	3.13

PLAN LEGEND

---> Tract Boundary Line	---> Existing Storm Sewer Piping	---> Proposed Colour
---> Legal Right-of-Way Line	---> Existing Sanitary Sewer Piping	---> Temporary Erosion Control Grading
---> Existing Boundary Contourline	---> Existing Gas Main	---> Proposed Gas Line
---> Mapped Wetlands Limit	---> Existing Water Main / Service	---> Proposed Water Line
---> Existing Topographic Contours	---> Existing Overhead Utility Wires	---> Proposed Sanitary Force Main
---> Existing Soil Series Limits	---> Existing Underground Telephone	---> Proposed Stormwater Piping
---> Existing Drive / Parking Limit	---> Existing Fence Line	---> Time Prohibition Fencing
---> Existing Vegetation Limit	---> Existing Vegetation Limit	---> Temp Compact Filter Sock
---> Municipal Boundary Line	---> Existing Slopes > 10%	---> Temp Filter Fabric Fencing
---> Zoning District Boundary	---> Existing Slopes > 10%	---> Limits of Disturbance
	---> Existing Tree To Be Removed	---> Infiltration Testing Location

A licensed professional or the PCSM designer shall be present on-site during construction of Underground Basin 'A' and the on-lot StormTank Systems to ensure that the proper construction sequence is followed for the proposed system.

ACKNOWLEDGEMENT:
 I/WE, THE UNDERSIGNED, IN THESE PLANS CAN ONLY BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY THE APPLICABLE MUNICIPALITY, OWNER ALSO AGREES TO ALL ABOVE LISTED BMP MAINTENANCE PROGRAM REQUIREMENTS.

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POST CONSTRUCTION STORMWATER MANAGEMENT PLAN FOR WYNDMOOR COURT FINAL SUBDIVISION PLAN

REVISIONS: 1 PER TOWNSHIP REVIEW DATE: 8/18/21

APPLICANT: ROTELLE DEVELOPMENT CO. 1011 RIDGE ROAD SOUTH COVENTRY, PA 19455

SITE LOCATION: 7802 PINE ROAD WYNDMOOR, PA 19088 SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA

PARCEL ID: 52-00-14128-004

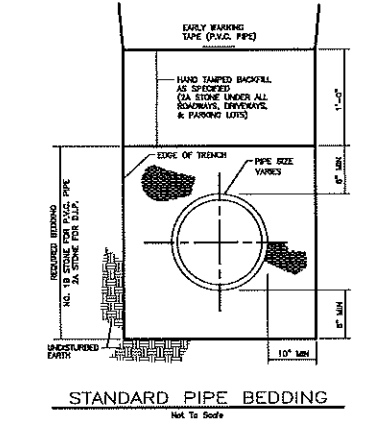
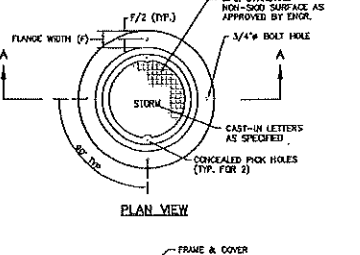
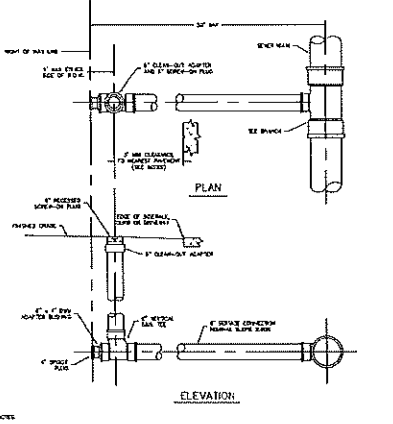
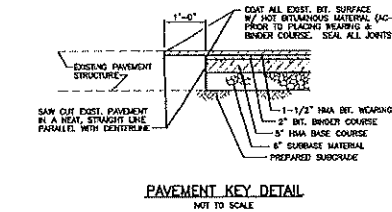
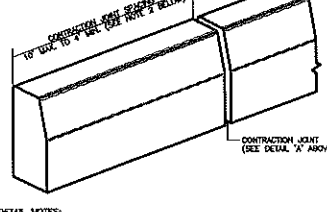
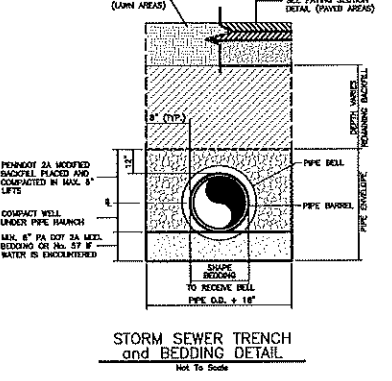
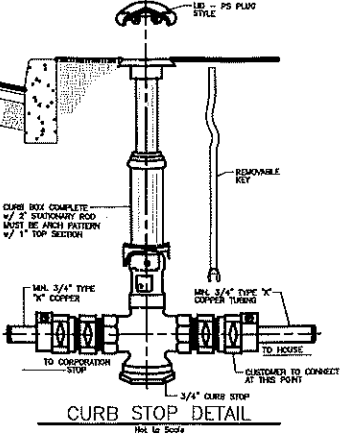
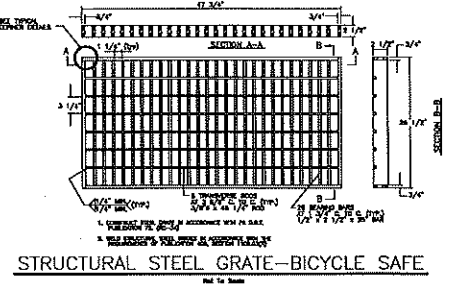
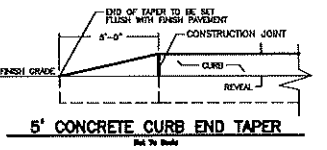
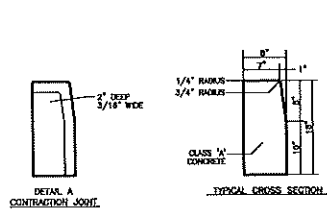
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SCALE: AS NOTED

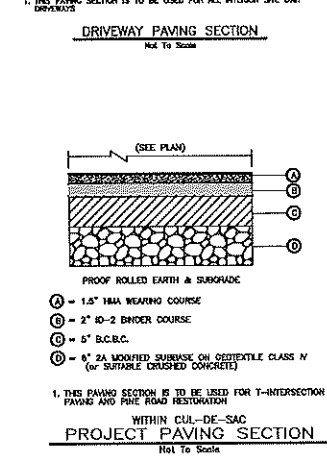
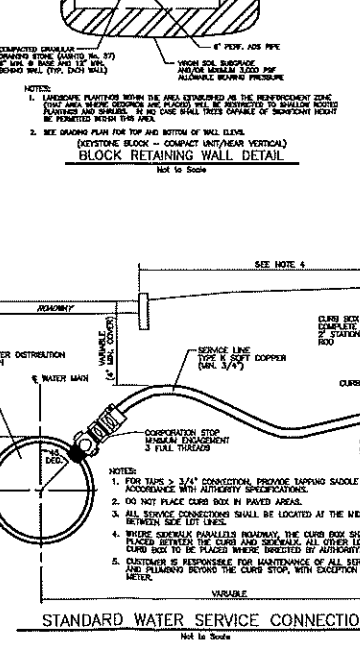
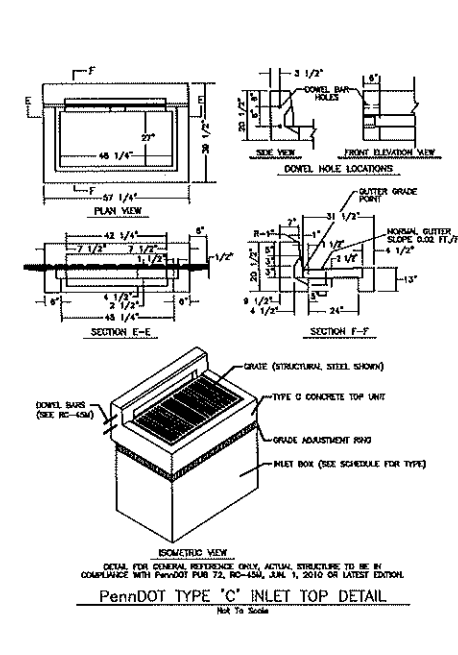
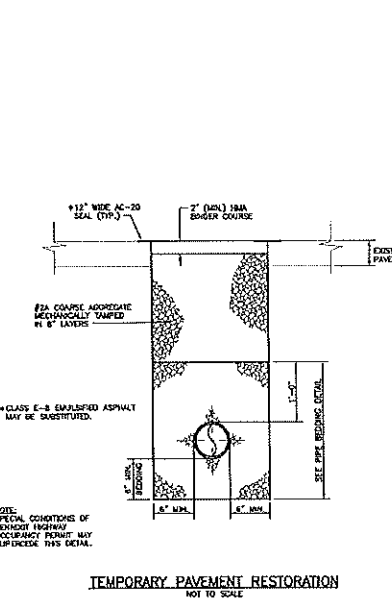
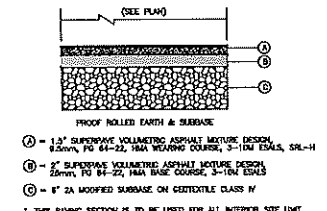
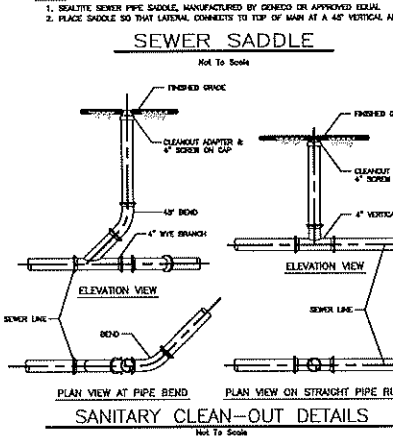
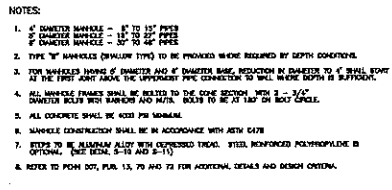
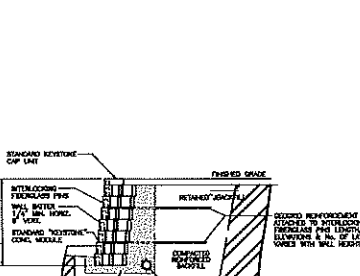
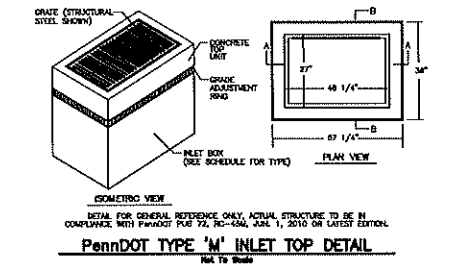
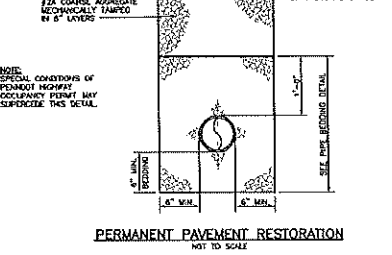
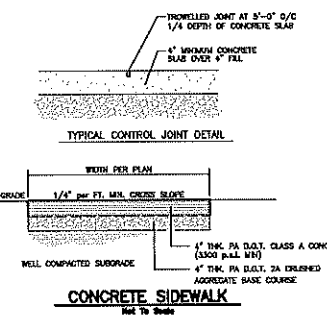
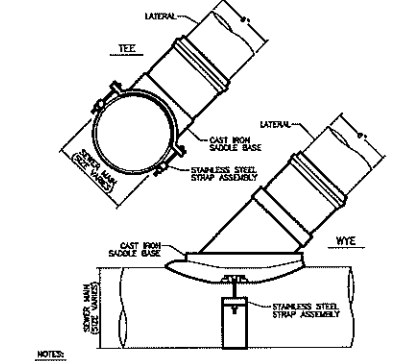
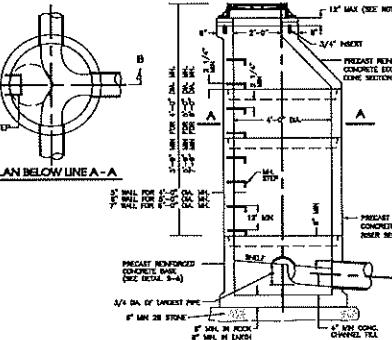
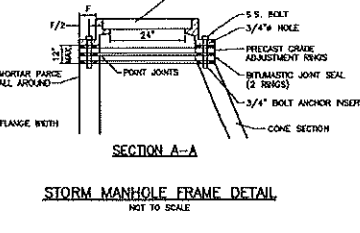
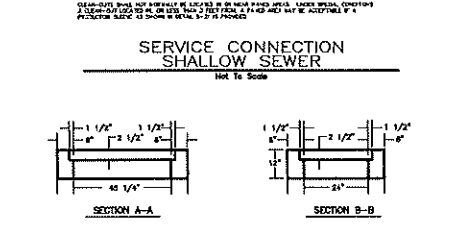
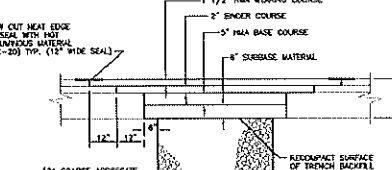
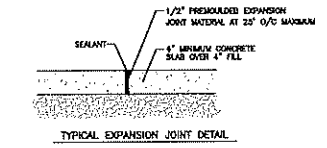
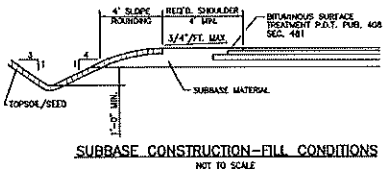
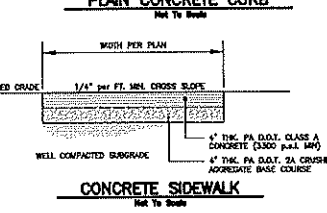
PROJECT: 21-023

SHEET NO: 8 OF 10

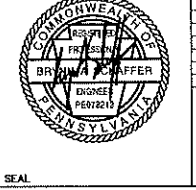
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DETAIL NOTES:
 1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SPECIFICATION FOR CONCRETE CURBS AND SIDEWALKS.
 2. SPACING CONTRACT JOINTS IN UNIFORM LOCATIONS OF SECTIONS.
 3. PLACE 1/2\"/>



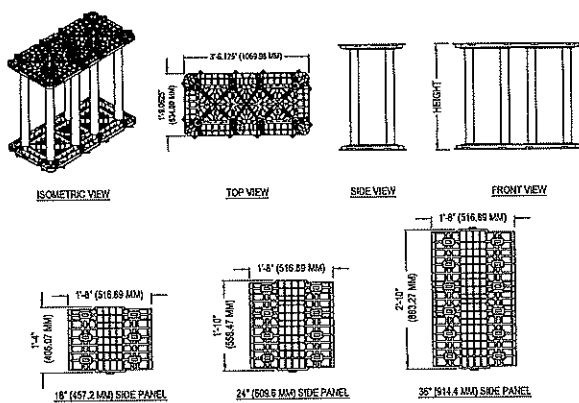
REVISIONS:			DATE:	APPLICANT:
NO.	NOTES/REMARKS:			ROTELLE DEVELOPMENT CO.
1	PER TOWNSHIP REVIEW		8/16/21	1011 RIDGE ROAD SOUTH COVENTRY, PA 19465
				SITE LOCATION: 7502 PINE ROAD WYNDMOOR, PA 15038 SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA
				PARCEL ID: 52-00-1412B-004
				DRAWN/CHECKED: DLH/BAS
				DATE: 06/15/2021
				SCALE: AS NOTED
				PROJECT: 21-028
				SHEET NO: 9 OF 10



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READING, PA 19611
PHONE: (610) 374-5109
www.stormtank.com



- SIDE PANELS TO BE INSTALLED ALONG SYSTEM PERIMETER UNLESS OTHERWISE SPECIFIED.
- ALL HEIGHTS TO BE CUT FROM A 36" (914.4 MM) SIDE PANEL.

MODEL	HEIGHT (MM)	CAPACITY (MG)	NOMINAL VOLUME	NOMINAL WEIGHT (RS)
2018	18" (457.2)	8.17 CF (234.8)	25.57%	29.81 LBS. (13.5)
2022	24" (609.6)	11.78 CF (334.5)	35.38%	29.39 LBS. (13.3)
2036	36" (914.4)	17.83 CF (505.2)	56.19%	34.55 LBS. (15.7)

- MANUFACTURER NOTES:
1. REFERENCE CURRENT INSTALLATION INSTRUCTIONS FOR PROPER INSTALLATION PRACTICES.
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-042



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STEP 1:
REMOVE THE SIDE PANEL FROM MODULE AND PLACE ON FLAT SURFACE. LAYOUT AND CUT OPENING INTO SIDE PANEL FOR INLET/OUTLET PORT CONNECTION. REFER TO DIMENSIONS BELOW FOR OPENING PLACEMENT AND SEE TABLE BELOW FOR OPENING SIZE.

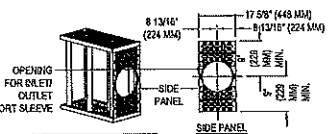
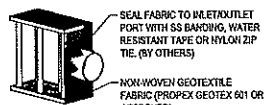


TABLE A: INLET/OUTLET PORT DIMENSION

PORT SIZE	OPEN SIZE
1" (25.4 MM)	1 1/2" (38.1 MM)
1 1/2" (38.1 MM)	2" (50.8 MM)

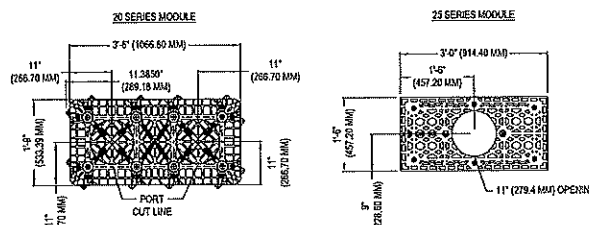
OPENING IS SHOWN VERTICALLY CENTERED FOR VISUAL CLARITY. PART MUST BE INSTALLED HORIZONTALLY CENTERED.
STEP 2:
WRAP SPECIFIED GEOTEXTILE FABRIC AROUND THE ENTIRE INSTALLATION OF STORMTANK MODULES (REFERENCE BRENTWOOD DOCUMENT "SITE PREPARATION AND INSTALLATION INSTRUCTIONS"). CUT "X" INTO GEOTEXTILE FABRIC AT PIPE LOCATION AND PEEL EDGES OUT. CONNECT GEOTEXTILE FABRIC TO THE PORT WITH SS BANDING, WATER RESISTANT TAPE OR NYLON ZIP TIE.



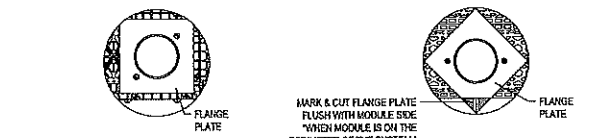
- NOTES:
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2. DO NOT SCALE DRAWING.
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4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-005.



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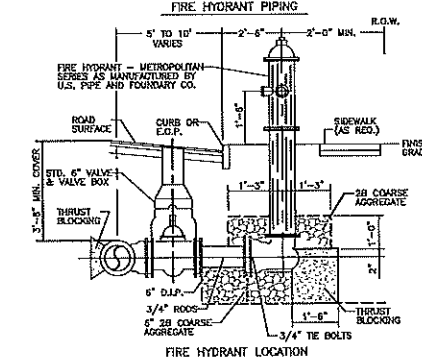
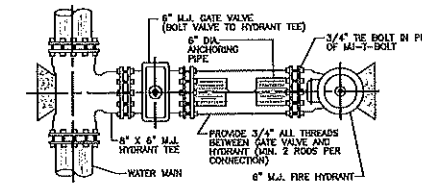


STEP 1:
AT ONE OF THE TWO PREMARKED POINTS, THE PORT IS TO BE MARKED ONTO THE PLATE AND THEN THE OPENING CUT INTO THE PLATE USING A JIGSAW OR SAWZALL, BEING SURE TO STAY AS CLOSE TO THE PORT DIAMETER AS POSSIBLE.



STEP 2:
PLACE PORT INTO OPENING, ALIGNING PORT WITH STACKING PINS PLACED IN CLIPS WITHIN THE PLATE.

- MANUFACTURER NOTES:
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-010

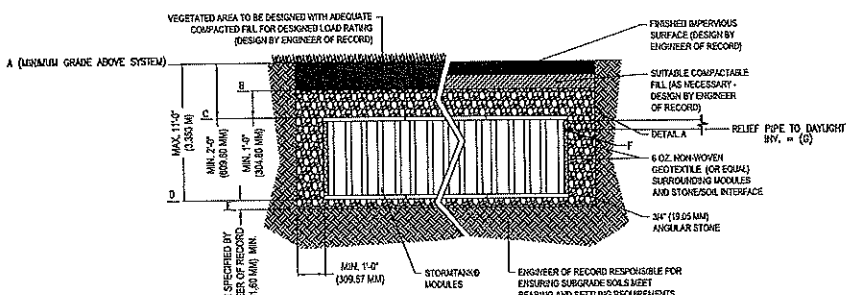


- NOTES:
1. PROVIDE BLOCKING AGAINST UNDISTURBED EARTH AT TEES AND FIRE HYDRANT.
2. ALL THE BOLTS, RODS, NUTS AND WASHERS SHALL BE COATED WITH ENTIRENESS PART AT EX INSTALLATION.
3. DRAIN HOLE IN HYDRANT MUST NOT BE OBSTRUCTED WITH CONCRETE.

FIRE HYDRANT DETAILS
Not To Scale



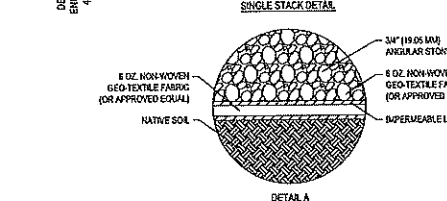
STORMTANK (BRENTWOOD INDUSTRIES)
621 BRENTWOOD DRIVE
READING, PA 19611
PHONE: (610) 374-5109
www.stormtank.com



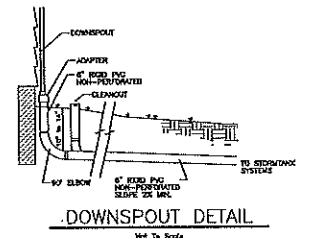
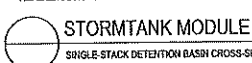
CONCRETE MONUMENT INSTALLATION
Not To Scale

STORM TANK INFORMATION TABLE

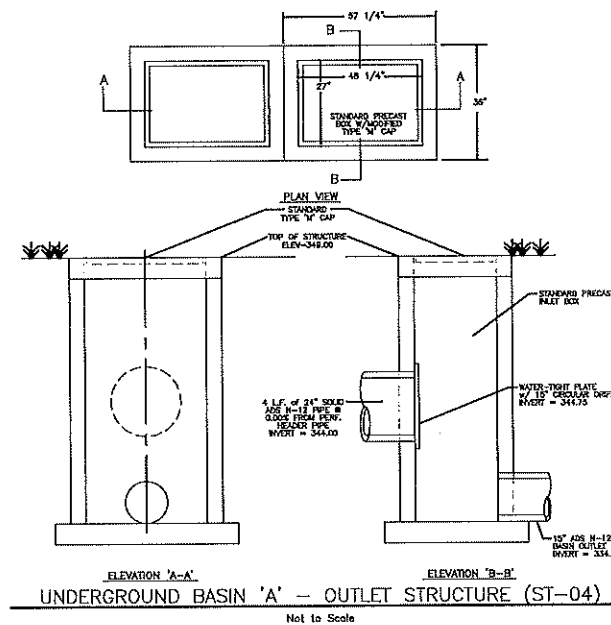
BASIN	A	B	C	D	E	F	G	MODULE TYPE
LOT 1	342.25	342.25	341.25	337.25	338.75	340.75	341.25	ST-38
LOT 2	344.00	343.00	342.00	340.50	340.00	342.50	342.50	ST-18



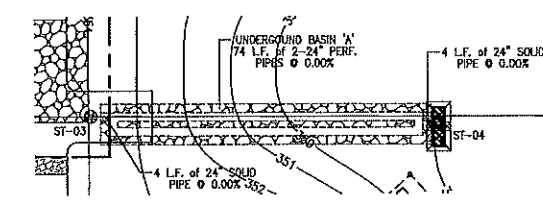
- MANUFACTURER NOTES:
1. REFERENCE CURRENT INSTALLATION INSTRUCTIONS FOR PROPER INSTALLATION PRACTICES.
2. IMPERMEABLE LINER IS REQUIRED TO BE INSTALLED AROUND BOTTOM AND SIDES OF EXCAVATION UNLESS OTHERWISE SPECIFIED.
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 4907-023



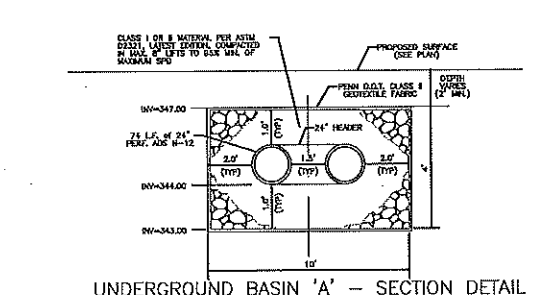
STORMTANK SYSTEM - LOT 01
Scale: 1" = 5'



UNDERGROUND BASIN 'A' - OUTLET STRUCTURE (ST-04)
Not To Scale



UNDERGROUND BASIN 'A' - PLAN VIEW
Scale: 1" = 20'



UNDERGROUND BASIN 'A' - SECTION DETAIL
Not To Scale

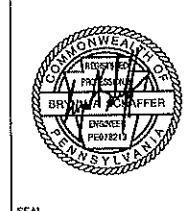
SHEET INDEX

- COVER - INDEX SHEET
- LAND DEVELOPMENT - RECORD PLAN
- EXISTING FEATURES AND DEMOLITION PLAN
- SITE IMPROVEMENT PLAN
- SITE LANDSCAPING PLAN
- EROSION AND SEDIMENT CONTROL PLAN
- POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS

CONSTRUCTION DETAILS FOR

WYNDMOOR COURT FINAL SUBDIVISION PLAN

REVISIONS:	DATE:	APPLICANT:
NO. 1 NOTES/REMARKS:	8/16/21	ROTELLE DEVELOPMENT CO.
1 PER TOWNSHIP REVIEW		1011 RIDGE ROAD SOUTH COVENTRY, PA 19465
		SITE LOCATION: 7602 PINE ROAD WYNDMOOR, PA 19038
		SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PENNSYLVANIA
		PARCEL ID: 52-00-14128-004
		DRAWN/CHECKED: DLH/BA5
		DATE: 06/15/2021
		SCALE: AS NOTED
		PROJECT: 21_023
		SHEET NO: 10 OF 10



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LAND DEVELOPMENT * LAND SURVEYING
9533 OLD 22ND P.O. BOX 135 BETHEL, PA
717.742.4245 www.carlaengineering.com