



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

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Public Notice

Planning Commission Meeting

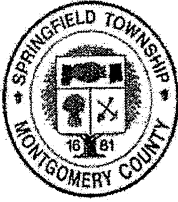
LD-23-02

This notice is sent to inform you the Springfield Township Planning Commission will hold a public meeting on Tuesday, May 2, 2023, with a 7:00 P.M. start time to discuss the Land Development Application submitted by **5 Star Venture 1, LP** for a proposed re-development of 900 Mermaid Lane, Wyndmoor, PA 19038.

The property owner proposes to retrofit the front and rear buildings on the property for a permitted use or uses within the Limited Industrial District. The parking lots and access lanes will be resurfaced, and the parking areas will be lined in accordance with the Zoning Ordinance. The plan calls for the accessory building to the rear of the property and the storage trailers to be removed. Green areas and the required buffers will be added along the side property lines. Stormwater management controls are also proposed to be installed. The property is zoned within the Limited Industrial District of Ward #5 of Springfield Township

A copy of both application and plans have been posted on Springfield Township's website at www.springfieldmontco.org. If you have any questions pertaining to this meeting, please feel free to contact me directly at 215-836-7600, ext. 1114 or by email at mpenecale@springfieldmontco.org.

Sincerely,
Mark A. Penecale
Director of Planning & Zoning
Springfield Township



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

APPLICATION FOR LAND DEVELOPMENT APPROVAL

A Application is hereby made for approval by the Board of Commissioners of the attached Land Development Plan.

B Name of Land Development: 900 E. Mermaid Lane

Location: 900 E. Mermaid Lane

Wyndmoor, PA 19038

C Name of Owner: 5 Star Venture 1, LP

Address: 7805 Ardmore Ave

Wyndmoor, PA 19038

Phone #: _____

D Name of Applicant: SAME AS OWNER

Address: _____

Phone #: _____

E Name of Engineer, Surveyor, or Planner responsible for preparation of the plan

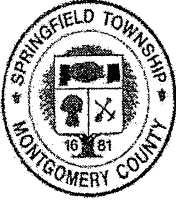
LANDCORE Engineering Consultants, PC; D. Alexander Tweedie, PE

Address: PO Box 37635 #56287, Philadelphia, PA 19101-0635

F Existing Zoning Classification: LI-Limited Industrial District

Total Acreage: 3.6 Ac New Non-Res. Floor Area: 0 (sq. ft)

Sewerage: Public X Private _____
Water: Public X Private _____



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

Intended Land Use(s)	# of Lots	Units	Buildings
() Residential	_____	_____	_____
() Commercial	_____	_____	_____
(x) Industrial	2 <u>Exist.</u>	2	2
() Office	_____	_____	_____
() Other (Specify below)	_____	_____	_____

G Does this application meet all the requirements of the existing Zoning Classification? (X) Yes () No (if no, attach a list of variances and/or special exceptions)

H Is the property subject to any encumbrances, deed restrictions, etc.? () Yes (X) No (if yes, attach a copy)

I List additional material submitted with this application

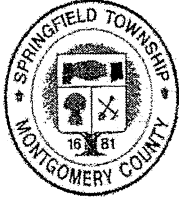
1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

J Springfield Township Fee Schedule (non-refundable):

Checks should be made payable to "Springfield Township".

Land Development Fee Schedule

Use	Waiver Request/ Sketch Plan	Preliminary Plans	Final Plans
Residential	\$250	\$200 per D.U.	\$250 per D.U.
Nonresidential	\$250	\$500 + \$100 / acre \$900	\$2,500 + \$150 / acre \$3,100



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

K Escrow Fund

The escrow account shall be established based on the following calculations:

\$3,000.00 per acre or fraction thereof

Total Escrow Amount \$ 12,000

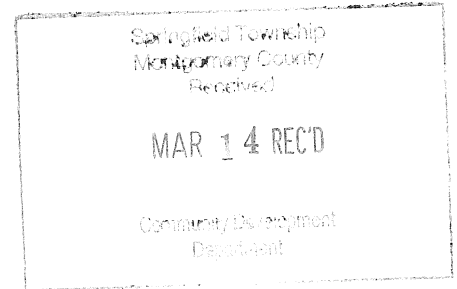
L Springfield Township Application Fees

Waiver or Sketch Plan Fee \$ _____

Preliminary Plan Fee \$ 900

Final Plan Fee \$ 3,100

Total \$ 4,000



Check # 252

M Montgomery County Planning Commission Fee Schedule

Checks should be made payable to "Montgomery County Treasurer".

RESIDENTIAL LAND DEVELOPMENT

Number of Lots or Units
(whichever is greater)

General Fee + Fee Per Lot or Unit

1 - 3	\$150 (flat fee)
4 - 20	\$180 + \$23 per unit
21 - 100	\$450 + \$21 per unit
101 +	\$1,060 + \$20 per unit

NON RESIDENTIAL LAND DEVELOPMENT AND CONVERSIONS

Gross Square Feet
of New Building

General Fee + Fee for every 1,000 gross sq. ft.
(round to nearest whole dollar)

1 - 3,000 sq. ft.	\$220 flat fee
3,001 - 25,000 sq. ft.	\$519 + \$27 for every 1,000 sq. ft.
25,001 - 50,000 sq. ft.	\$1,050 + \$23 for every 1,000 sq. ft.
50,001 - 100,000 sq. ft.	\$1,550 + \$20 for every 1,000 sq. ft.
100,000 + sq. ft.	\$2,580 + \$15 for every 1,000 sq. ft.

Total \$ _____

Check # _____



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

N Signature

The undersigned represents that to the best of his/her knowledge and belief, all of the above statements are true, correct and complete.

In the event the applicant wishes to have the review by the Township discontinued, the applicant will notify the Township immediately, in writing, and processing of the review will be terminated upon receipt of such written notification to the Township, it being understood that all bills accrued to date of termination will be paid.

Mar 10, 2023
DATE

Scott D. Danzen, 5 Star Venture LP
SIGNATURE OF APPLICANT
Scott D. Danzen



Springfield Township, Montgomery County, PA
1510 Paper Mill Road, Wyndmoor, PA 19038
Telephone (215) 836-7600 Fax: (215) 836-7180

SUBDIVISION AND LAND DEVELOPMENT PLANS CHECKLIST

This form must be completed by supervising engineer and submitted as part of the subdivision and/or land development application. Note: Fill in all blocks with S or NA

LEGEND

P = Preliminary Plans **F** = Final Plans **S** = Shown on Plans **NA** = Not Applicable

PROJECT NAME: 900 E. Mermaid Lane

A. Location and Identification

1. Title consisting of:
 - a. Name of subdivision and/or land development
 - b. Name and address of owner
 - c. Name and address of registered engineer
 - d. Date of plan and revision dates if applicable
 - e. Plan scale shown graphically and in equation form
 - f. North point
2. Location Map
3. Tract boundary with bearings and distances
4. Total tract area
5. Zoning Classification

P	F
S	S
S	S
S	S
S	S
S	S
S	S
S	S
S	S
S	S
S	S

B. Drafting Standards

1. Plan sizes: 15" x 18", 18" x 30", or 24" x 36"
2. Scales (minimum)
 - a. plan: 1" = 50'
 - b. profile - horizontal: 1" = 40'
 - vertical: 1" = 4'
3. Dimensions
 - a. approximate
 - b. feet and decimals
4. Legend of existing and proposed features
5. Sheets numbered

S	S
S	S
S	S
S	S

S	S
S	S
S	S
S	S

C. Existing Features of Land within 200' of subdivision/land development

1. Streets - location, name, right-of-way width, cartway width, curb and sidewalk location.
2. Rights-of-way and easements.
3. Property lines.
4. Water courses.

NA	NA
NA	NA
NA	NA
NA	NA

5. Location and sizes of existing utilities.
6. Location of fire hydrants within 500'.

P	F
NA	NA
NA	NA

D. Existing Features of subdivision/land development

1. Existing streets - location, name, right-of-way width, cartway width, curb and sidewalk location.
2. Existing streets - center line courses/distances, right-or-way radii at intersection, curve data, curb line radii.
3. Existing rights-of-way and easements.
4. Property lines.
5. Water courses.
6. Location and sizes of existing utilities.
7. Location of fire hydrants.
8. Location and character of:
 - a. Existing buildings.
 - b. Species and size of individual trees over 6" diameter.
 - c. Limits of wooded areas.
 - d. Limits of wetlands.
 - e. Other topographical features that may affect development.
 - f. Existing contour lines (intervals not to exceed 2' for grades of 5% or less, and 5' for grades over 5%.
 - g. Datum for topography (use san. sewer data if available).
 - h. Survey monuments.
9. Measured distances from center line of streets to existing structures which are to remain in place.
10. Indicate structures to be demolished.

S	S
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NA	NA
S	S
S	S
NA	NA
S	S
S	S

S	S
S	S
NA	NA
NA	NA
S	S

S	S
S	S
S	S

NA	NA
S	S

E. Proposed Street, Lot Layout and Improvements

1. Boundary line survey of land to be subdivided/developed.
2. Boundary closure distance not greater than 1 part in 10,000.
3. Layout of streets:
 - a. Names.
 - b. Right-of-way widths.
 - c. Cartway widths.
 - d. Centerline courses and distances.
 - e. Curve data.
 - f. Right-of-way radii.
 - g. Curb line radii.
 - h. Street location tie-ins by course and distances to the nearest intersection of existing street.
 - i. Typical cross section including type, depth and crown of paving; type and size of curb; location, type, width and depth of sidewalk; grading of sidewalk area; slope of cut and fill extended beyond the right-or-way.
 - j. Profile along center line of streets showing existing ground Elevation and proposed paving elevations.

S	S
NA	NA

NA	NA
NA	NA
NA	NA
NA	NA
NA	NA
NA	NA
NA	NA

NA	NA
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NA	NA
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NA	NA
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- k. Curb grades and elevation of top of curb at grade intersections, at tangent points of horizontal curves and at the projected intersections of curb lines.
 - 1. Tentative grades of future street extensions to a point 400' beyond boundaries of subdivision/land development.
 - 4. Lot layout and lot numbering.
 - 5. Lot areas.
 - 6. Building setback lines.
 - 7. Reference to land to be dedicated for public use.
 - 8. Rights-of-way and easements.
 - 9. Preliminary plan showing layout of sanitary sewer facilities.
 - 10. Plan of sanitary sewer facilities showing location and size of all components, invert elevations and pipe grades.
 - 11. Profiles of sanitary sewers showing existing and finished elevations Over pipe, manhole locations, invert elevations and pipe grades.
 - 12. Preliminary plan showing layout of storm drainage facilities.
 - 13. Hydrologic plan showing all pipe locations, size, shape and type; all inlet locations, size and type; all bridge and conduit structures.
 - 14. Hydrologic computations based on rational formula.
 - 15. Profile of storm sewers showing existing and finished elevations over pipe, manhole locations, inlet locations, headwall locations, invert elevations at manholes, inlets and headwalls and grades for all pipes.
 - 16. Grading plan.
 - 17. Detailed construction drawings of bridges, culverts, headwalls and all other structures.
 - 18. Survey monuments.
 - 19. Location and size of all utilities and fire hydrants.
 - 20. Erosion and sedimentation control plan and DEP permit application.
 - 21. Storm water management facilities.
 - 22. Landscaping requirements.
 - 23. Application for DEP planning module for land development.
 - 24. Appropriate DEP modules and transmittal letter.
 - 25. DEP permit application and supporting data for stream encroachment
- F. Certification
- 1. Certificate of owner including notarized signature.
 - 2. Certificate for approval of Township including lines for signature of BOC President, Township Engineer and Township Secretary.
 - 3. Seal of registered engineer who prepared plans.
 - 4. Certificate for signature of Recorder of Deeds.

P	F
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NA	NA
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NA	NA
NA	NA
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S	S
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NA	NA
NA	NA

NA	NA
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NA	NA
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NA	NA
NA	NA

S	S
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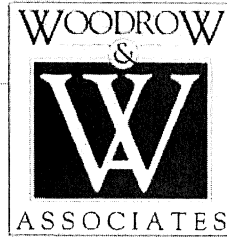
S	S
S	S
S	S

DATweeds

Signature of Owner's Engineer

03/13/2023

Date



April 11, 2023
Revised April 18, 2023

Mark Penecale, Planning Director
Springfield Township
1510 Paper Mill Road
Wyndmoor, PA 19038

Reference: 900 East Mermaid Lane
Land Development Application

Dear Mark:

My office is in receipt of an eight-sheet set of plans prepared by Landcore Engineers. The plans are dated February 28, 2023, and bear no revision date at this time. The plan set describes the existing features conditions of the subject property. Further, the plan depicts improvements to the property surrounding cleanup of debris, establishment of defined parking areas and new water services. More specifically the plan provides for:

1. Premises B – The structure most closely fronting on Mermaid Lane is described on the plans as Premises B and contains mostly warehouse space. The plan calls for a new 6-inch fire service connection to be provided for the structure.
2. Demolition and Removal –The property contains a number of shipping containers, various sheds and garage spaces that are to be removed and/or demolished in conjunction with this application.
3. Rear Property Structure – A 13,000 square-foot warehouse facility exists to the back, northeast corner of the property. This structure is to remain.
4. Rear Property Structure – A new 6-inch fire service main as well as a domestic water lateral are to be extended from Mermaid Lane along the southern side of the premises and connected to the rear building.
5. Rear Property Structure – A sanitary sewer lateral is proposed to connect the existing infrastructure.
6. A paved parking lot is to be constructed, formalized, and provided with accessible parking spaces providing convenience to the rear structure on the property.
7. Erosion and Sedimentation Control – The plan depicts the installation of sediment and erosion control devices that will be implemented prior to the demolition and regrading work needed to implement the plan.

April 11, 2023

Revised April 18, 2023

Mark Penecale, Planning Director - Springfield Township

Reference: 900 East Mermaid Lane
Land Development Application

My plan review comments are as follows:

1. Stormwater Management – The existing property is covered with various concrete pads, dense stone parking areas and general debris. The implementation of the plan would suggest that there be no increase in impervious cover. I would like to ask cooperation in the implementation of stormwater best management practices for this property. The property is a clear example of what we describe as legacy development. A great deal of impervious cover was created without an obligation to provide for stormwater management treatment. During a site walk with the applicant's engineer and applicant, we viewed a number of areas where earthen berms drained by stone wicks could be implemented in conjunction with the application. This type of infrastructure would help protect Mermaid Park from the adverse impacts of stormwater runoff. Further, with the implementation of new turf areas replacing what can be described today as “scorched earth” opportunities would exist for the planting of meadow grasses and other dense vegetation that would assist in stormwater evapotranspiration and infiltration.
2. Sanitary Sewer – An existing sanitary sewer runs along the southern property boundary. The plan should depict an easement over the sanitary sewer main. Further, the applicant should be in touch with the Bucks County Water and Sewer Authority to determine if any additional tapping fees will be required in conjunction with the application.
3. PA DEP – The applicant should contact the PA DEP to secure a “waiver of planning” acknowledging that the existing building being connected to public sewer system is not required to secure PA Act 537 planning approval.
4. Lighting – A lighting plan has been provided. We would ask that the plan contain the following note, “Springfield Township reserves the opportunity to field view the lighting installation after installation. Should undo glare be found to occur impacting adjacent residential properties, additional shielding will be mandated.”
5. Storm Sewer – An existing storm sewer pipe bisects the property. The origins of the storm piping appear to occur on Queen Street, draining through the property and discharging into Mermaid Park. It would be helpful to have the inlets located within the subject property to be fitted with filters to help protect the water quality within our park and downstream pond.

Subdivision ordinance review:

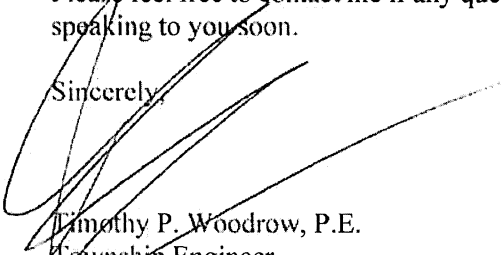
1. Section 925-07.H – A landscaping plan is required in conjunction with the submission signed and sealed by a licensed landscape architect.
2. Section 95-10.A – The right-of-way width of 60 feet and a cartway of 40 feet for Mermaid Lane must be shown the plans.
3. Section 95-10.A – A 10-foot-wide sidewalk is required along the property frontage.
4. Section 95-10.A – Curbing is required along Mermaid Lane. The quality and need for replacement will be considered in conjunction with the building construction.

April 11, 2023
Revised April 18, 2023
Mark Penecale, Planning Director - Springfield Township
Reference: 900 East Mermaid Lane
Land Development Application

5. Section 95-10.I – Sidewalk – This code citation also anticipates a four-foot-wide sidewalk along each street frontage. The construction of a five-foot-wide sidewalk might be appropriate compromise to our ordinance.
6. Section 95-11.E(2)(b) – Dedication of land suitable for park and recreation use of the Township – The amount of land to be offered of dedication for park and recreational areas and nonresidential land development shall be 3,000 square feet per 4,000 square feet of building area.
7. Section 95-11.E(8) – Our code anticipates an alternative providing for a fee in lieu of dedication of open space.
8. Section 95-11.H – Survey monumentation must be provided for the property corners of the subject tract.
9. Section 95-11.I – Landscaping – The board of commissioners shall require, as a condition for approval of land developments, appropriate landscaping. The submission must speak to the adequacy of the existing vegetation on the property to address buffering, street trees and appropriate parking lot landscape requirements.

Please feel free to contact me if any questions you may have regarding this review. I Look forward speaking to you soon.

Sincerely,



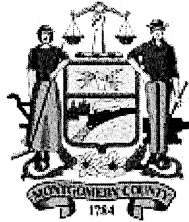
Timothy P. Woodrow, P.E.
Township Engineer
Woodrow & Associates, Inc.

TPW/del

Cc: A. Michael Taylor, Township Manager – Springfield Township
5 Star Venture 1, LP – Owner
Andrew R. Freimuth, Esq. – Wisler Pearlstine, LLP
Alex Tweedie – Landcore Engineering

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

KENNETH E. LAWRENCE, JR., CHAIR
JAMILA H. WINDER, VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722 • FAX: 610-278-3941
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

April 12, 2023

Mr. Mark Penecale, Director of Planning & Zoning
Springfield Township
1510 Paper Mill Road
Wyndmoor, Pennsylvania 19038

Re: MCPC #23-0052-001
Plan Name: 900 E Mermaid Lane
(2 lots industrial comprising 3.6 acres)
Situates: Mermaid Lane (E), New St (S)
Springfield Township

Dear Mr. Penecale:

We have reviewed the above-referenced land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on March 22, 2023. We forward this letter as a report of our review.

BACKGROUND

The applicant, 5 Star Venture 1 LP, has submitted preliminary/final land development plans for the repaving of an existing parking lot and retrofit of an existing warehouse in the LI Limited Industrial District. The tract under discussion is located on and takes access from Mermaid Lane, a local roadway. The parcel currently contains two warehouse buildings, one other building, one additional structure, six storage trailers, an asphalt paving area, and several small concrete landings. The applicant proposes to remove the smallest of the existing buildings, all storage trailers, and to repave the rear portion of the site. Both warehouse buildings are proposed to remain.

The applicant proposes to retrofit one warehouse building and to provide a total of 59 parking spaces, with an additional 16 spaces held in reserve.

The applicant has requested three waivers from provisions of the subdivision and land development ordinance.

COMPREHENSIVE PLAN COMPLIANCE

Montco 2040: A Shared Vision – We find this proposal to be generally consistent with the county comprehensive plan. The county's Future Land Use Plan identifies the site of the proposed development as a Business Area. Industrial-oriented business areas are generally located in relation to older transportation

networks based on train lines, and generate freight traffic throughout the day. Development should be designed to accommodate automobile and truck trips, make it easy for employees to walk to public transportation, and control the impact of light, noise, and pollution on nearby residences.

Springfield Township Comprehensive Plan – We find this proposal to be generally consistent with the township’s comprehensive plan. The Future Land Use element designates the area containing this development site as an Employment Center, and the land use goals of the township include compatible infill development respecting the scale of existing neighborhoods.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant’s proposal, however, in the course of our review we have identified the following key issues that we believe should be resolved prior to final plan approval. Our comments are as follows:

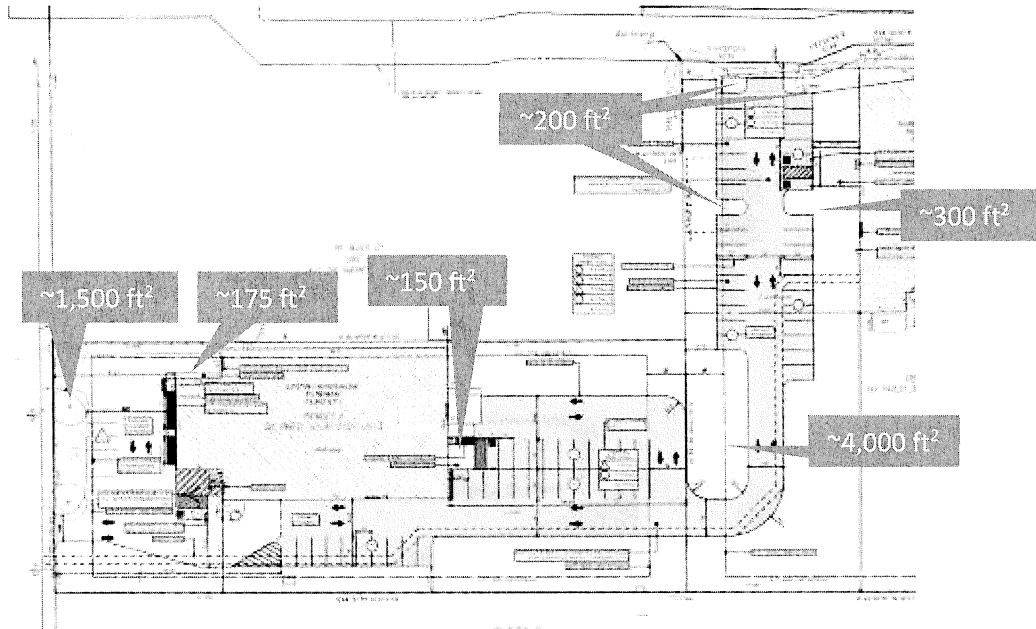
REVIEW COMMENTS

STORMWATER MANAGEMENT

No stormwater management is shown on the plan. Discussions with the township have indicated that a landscaped berm will be constructed along the property line with Mermaid Park, but no such berm is shown on the record plan, utility and grading plan, or erosion and sediment control plan. Mermaid Park is a recipient of Montco 2040 Implementation Grant funding, and we wish to ensure that the park will suffer no visual or stormwater effects as a result of this land development.

LANDSCAPING

The applicant has requested a waiver from §95-7H, requiring that a landscaping plan prepared by a landscape architect be submitted as part of preliminary and final plans, and from §95-11(l)(3), requiring that off-street parking areas and loading areas be provided with perimeter landscaping buffers and internal planting areas at a rate of 500 ft² per 10 parking spaces. The internal planting requirements would require the applicant to provide 3,700 ft² of internal planting areas and to plant 14 canopy trees, 7 understory trees, and 43 shrubs. The proposed parking lot layout provides approximately 6,700 ft² of landscaped area, as shown below. As the applicant appears to be providing the required planting area, we recommend that the applicant plant the required landscaping and instead seek a waiver from §95-11(l)(3)(b)[2], requiring that planting islands be a minimum 200 ft².



PLAN CONTENTS

- A. Sixteen reserve parking spaces are labelled in the plans, but no extent is shown for the extent of the paving for the reserve parking area. The applicant should clarify whether the reserve parking spaces are intended to be paved at this time. If not, the applicant should show the limits of paving proposed at this time and whether a curb would be constructed along the limits of said paving.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant’s proposal but we believe that our suggested revisions will better achieve the township planning objectives for industrial development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.

Please print the assigned MCPC number (#23-0052-001) on any plans submitted for final recording.

Sincerely,

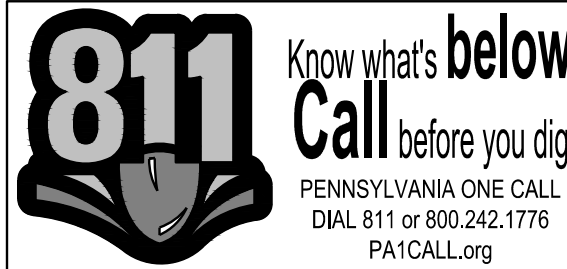
A handwritten signature in black ink, appearing to read "Anne Nygard". The signature is fluid and cursive, with a long, sweeping underline.

Anne Nygard, Community Planner II
anne.nygard@montgomerycountypa.gov – 610-278-3887

c: 5 Star Venture 1, LP, Applicant
Landcore Engineering, Applicant's Representative
A. Michael Taylor, Springfield Township Manager
Amanda Helwig, Chair, Springfield Township Planning Commission

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan

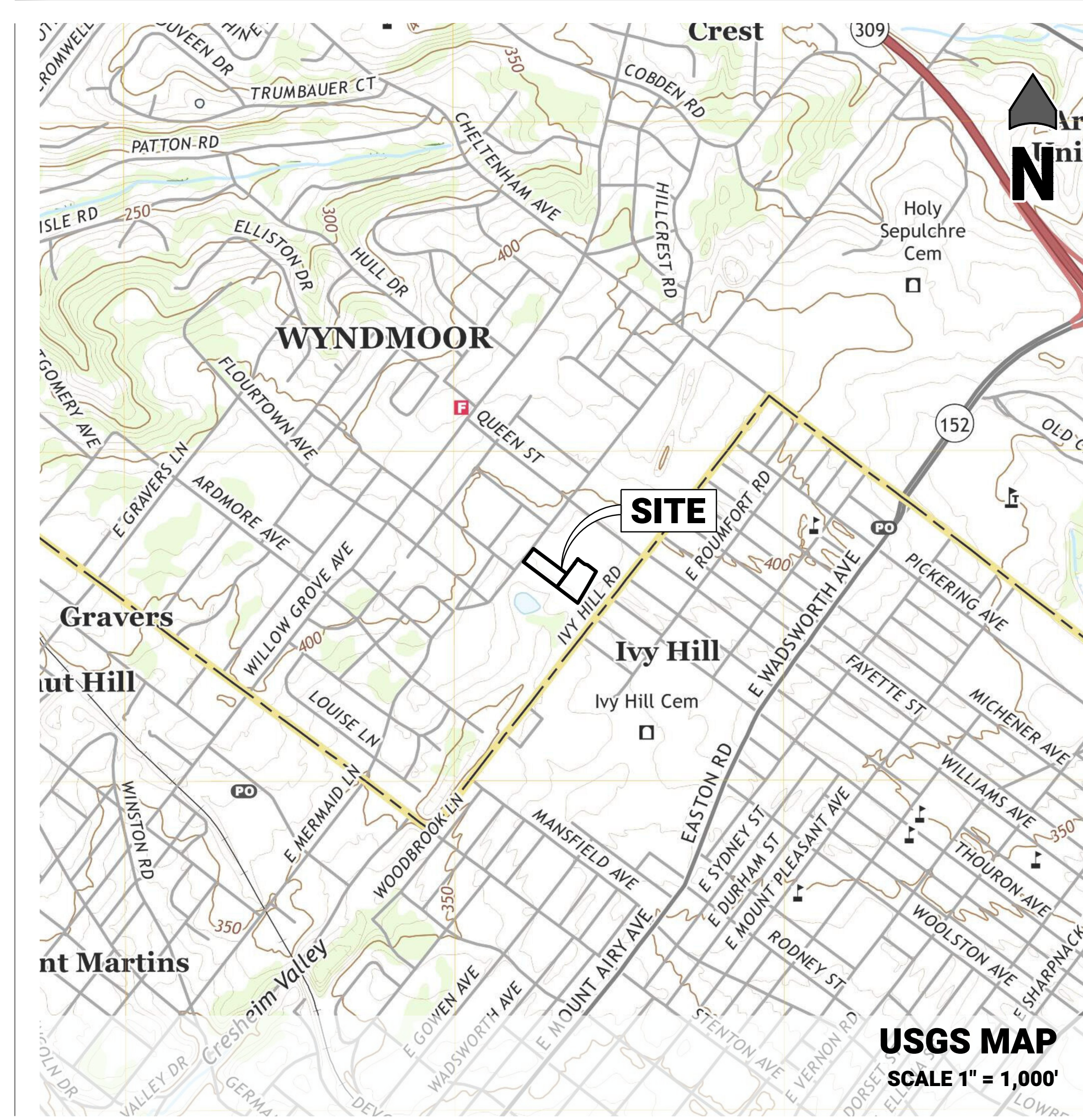


TICKET #: Ticket Num.

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR

PROPOSED INDUSTRIAL REDEVELOPMENT

900 E. MERMAID LANE SPRINGFIELD TOWNSHIP MONTGOMERY COUNTY, PA



SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THE SURVEY PERFORMED FOR THE PROPERTY LOCATED # 900 & #1000 E. MERMAID LANE, SPRINGFIELD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA, WAS MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS DETAIL REQUIREMENTS FOR LAND TITLE SURVEY JOINTLY ESTABLISHED AND ADOPTED BY A.T.A. AND A.C.S.M. IN 1962

NOT VALID UNLESS SEALED WITH BLACK OR RED INK

SURVEYOR
PROTRACT ENGINEERING, INC.

OWNER'S STATEMENT

I HEREBY CERTIFY THAT 5 STAR VENTURE 1 LP, IS THE OWNER/DEVELOPER OF THE DESIGNATED LAND, AND ACKNOWLEDGE THIS PLAN TO BE THE OFFICIAL PLAN OF THE HIGHWAYS AND PROPERTIES SHOWN THEREON SITUATE IN THE TOWNSHIP OF SPRINGFIELD, MONTGOMERY COUNTY, PENNSYLVANIA, AND DESIRE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

BY: _____ 5 STAR VENTURE 1 LP
BY: _____ SCOTT JANZEN, OWNER

OWNER'S ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF MONTGOMERY :
ON THIS ____ DAY OF _____ BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED SCOTT JANZEN, WHO ACKNOWLEDGED HIMSELF TO BE A MEMBER OF 5 STAR VENTURE 1 LP, AND THAT HE, AS SUCH OFFICER, BEING AUTHORIZED TO DO SO, EXECUTED THIS PLAN ON BEHALF OF 5 STAR VENTURE 1 LP FOR THE PURPOSE THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

NOTARY PUBLIC (SEAL)
MY COMMISSION EXPIRES: _____

(SEAL)

BOARD of TOWNSHIP COMMISSIONERS APPROVAL BLOCK

APPROVED BY THE BOARD OF TOWNSHIP COMMISSIONERS OF THE TOWNSHIP OF SPRINGFIELD THIS _____

PRESIDENT _____

TOWNSHIP ENGINEER _____

ATTEST: SECRETARY _____

RECORDER of DEEDS CERTIFICATION

MCPC FILE NO. _____

RECORDER OF DEEDS
RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF MONTGOMERY, AT NORRISTOWN, PA., IN PLAN BOOK NO. _____ PAGE NO. _____ ON _____

WAIVER RELIEF REQUESTED/GRANTED

THE FOLLOWING WAIVERS FROM THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND STORMWATER MANAGEMENT ORDINANCE ARE REQUESTED OF THE BOARD OF TOWNSHIP COMMISSIONERS OF THE TOWNSHIP OF SPRINGFIELD AT THEIR PUBLIC MEETING HELD ON _____

SECTION	DESCRIPTION
§95-7.H.	REQUIRING LANDSCAPING PLAN
§95-7.L(2)(b)1[B]	REQUIRING TRAFFIC STUDY OF COMMERCIAL BUILDING CONSISTING OF 5,000 OR MORE SF.
§95-11.(3)	REQUIRING PARKING AREA LANDSCAPING

SHEET INDEX

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OWNER / APPLICANT

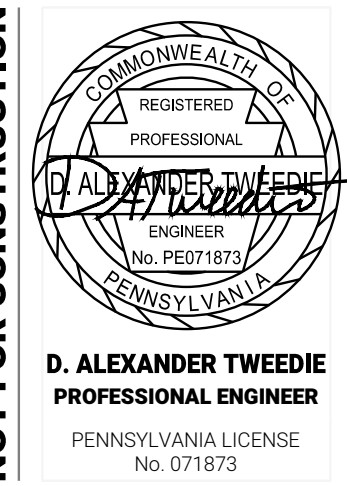
5 STAR VENTURE 1 LP
7805 ARDMORE AVENUE
WYNDMOOR, PA 19038

MCPC No. _____

PROCESSED AND REVIEWED
REPORT PREPARED BY MONTGOMERY COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.

CERTIFIED ON THIS DATE _____

FOR THE DIRECTOR
MONTGOMERY COUNTY PLANNING COMMISSION



NOT FOR CONSTRUCTION

REV.	DATE	REVISED PER	BY

PROJECT No. 220053
FILE COVER
DRAWN BY J.JACOBS
CHECKED BY A. TWEEDIE

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19038
PROJECT SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT 5 STAR VENTURE 1 LP.

COVER SHEET

TITLE _____

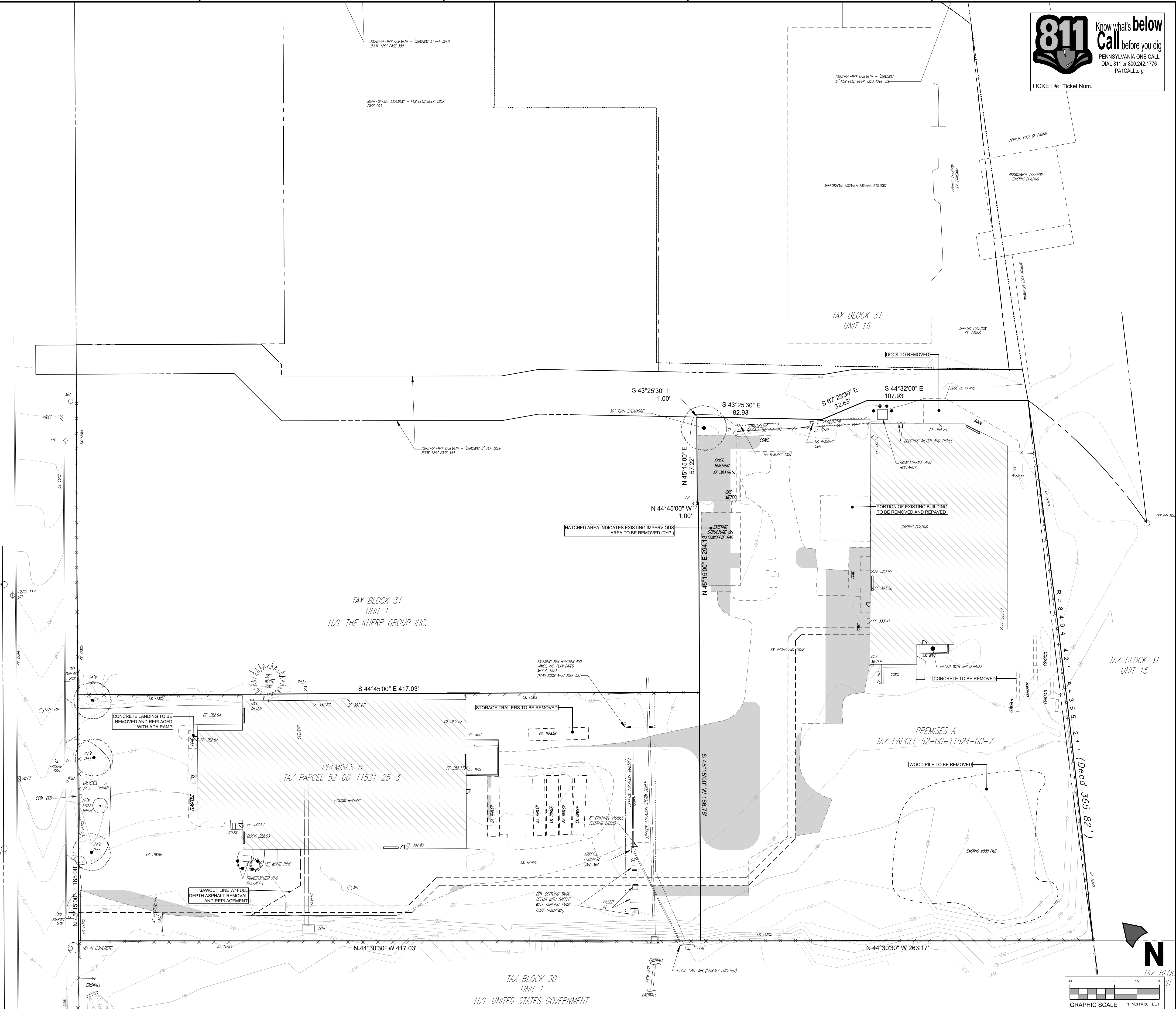
DATE 2023-02-28
SHEET 01 OF 08 REV. No.

EXISTING CONDITIONS/DEMOLITION NOTES

- NEITHER LANDCORE ENGINEERING CONSULTANTS, P.C. NOR THE OWNER IS RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA, STATE, AND MUNICIPAL REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO LANDCORE ENGINEERING CONSULTANTS, P.C. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS / CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE ANY OTHER DIRECTION. ALL DEMOLITION MEANS AND METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL AND JURISDICTIONAL REQUIREMENTS.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE TO / FOR THE FOLLOWING:
 - ENSURING COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE NATIONAL UTILITY NOTIFICATION SYSTEM (811) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING THE DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDERS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING ANY TEMPORARY OR PERMANENT DISCONNECTION, REMOVAL AND/OR RELOCATION OF UTILITIES FOR ANY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING OFF-PEAK HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
 - CONTACTING THE APPROPRIATE UTILITY OWNERS TO DISCONNECT EXISTING UTILITY SERVICES TO BUILDINGS/STRUCTURES SCHEDULED FOR DEMOLITION.
 - AN INSPECTION AND ASSESSMENT BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ANY HAZARDOUS MATERIALS WITHIN THE BUILDINGS AND / OR STRUCTURES REQUIRED TO BE ABATED OR REMOVED IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL LAWS PRIOR TO DEMOLITION. THE INSPECTION AND ASSESSMENT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING REMEDIATION, ABATEMENT OR REMOVAL OF HAZARDOUS MATERIALS, SOILS, ASBESTOS, LEAD-BASED PAINT, OR ANY OTHER ENVIRONMENTAL WORK REQUIRED SHALL BE OVERSEEN BY A LICENSED ENVIRONMENTAL CONSULTANT AND PERFORMED BY LICENSED TRADES.
- THE CONTRACTOR SHALL PROVIDE ALL THE MEANS AND METHODS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF EXISTING STRUCTURES OR ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF THE SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF THEIR ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN AUTHORIZATION OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS OF WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET/SIDEWALK CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE OR APPROVED LIMITS OF DISTURBANCE FOR THE PROJECT WITHOUT WRITTEN PERMISSION OF THE OWNER AND / OR APPROPRIATE GOVERNMENT AGENCY.
- CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND / OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD AND SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE (CRUSHED STONE/CONCRETE CERTIFIED AND USED AS CLEAN FILL SHALL BE EXCLUDED). ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS, REGULATIONS, AND CODES.
- ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS.

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E. MERMAID LANE



NOT FOR CONSTRUCTION

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
No. PE011874
PENNSYLVANIA
D. ALEXANDER TWEEDIE
PROFESSIONAL ENGINEER
No. 071873

REV.	DATE	REVISED PER	BY

PROJECT No. **220053**
FILE **EXISTING CONDITIONS**
DRAWN BY **J. JACOBS**
CHECKED BY **A. TWEEDIE**

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19038
PROJECT SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT **5 STAR VENTURE 1 LP.**

EXISTING CONDITIONS PLAN

TITLE

LANDCORE
PHILADELPHIA, PENNSYLVANIA 19101-0635
PHONE 215-836-2510
LANDCORECONSULTING.COM

SITE DATA	
PLAN REFERENCE	
PLAN TITLE	PLAN OF EXISTING CONDITIONS
DATED: 04/25/19	
SURVEYOR	
PROTRACT ENGINEERING, INC. 64 EAST MORELAND AVENUE, P.O. BOX 58 HOTBORO, PENNSYLVANIA, 19040 PROJECT NO. 1253	
APPLICANT / OWNER OF RECORD	
NAME	5 STAR VENTURE 1 LP
ADDRESS	7805 ARDMORE AVE WYNDMOOR, PA 19038
PARCEL DATA	
ADDRESS	900 E. MERMAID LANE WYNDMOOR, PA 19038 SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
TAX MAP NO / PARCEL ID	TAX BLOCK 31 UNIT 20 / PARCEL No. 52-00-11521-25-3 DEED BOOK 5642, PAGE No. 819 TAX BLOCK 31 UNIT 17 / PARCEL No. 52-00-11524-00-7 DEED BOOK 5642, PAGE 812
ZONING DATA	
ZONING DISTRICT	LI - LIMITED INDUSTRIAL DISTRICT
EXISTING USE	EXISTING USE WAREHOUSE BUILDING
PROPOSED USE	PROPOSED USE WAREHOUSE BUILDING & ASSOCIATED PARKING LOT
STATEMENT OF INTENT	
THE APPLICANT IS PROPOSING TO DEVELOP THE SUBJECT PARCEL WITH WAREHOUSE BUILDING AND ASSOCIATED SITE IMPROVEMENTS.	

BULK REQUIREMENTS									
REQUIREMENT	REQUIRED	EXISTING TOTALS	PROPOSED TOTALS	EXISTING PREMISES 'A'	PROPOSED PREMISES 'A'	EXISTING PREMISES 'B'	PROPOSED PREMISES 'B'	SECTION	
BUILDING REQUIREMENTS									
MINIMUM LOT AREA	(SF)	-	156,314	156,314	87,138	87,138	69,176	69,176	114-12C3
MINIMUM YARD SETBACKS	(AC)	-	3.588	3.588	2.000	2.000	1.588	1.588	
FRONT YARD	(FT)	25	N/A	N/A	114.43	114.43	80.25	80.25	114-12C5
SIDE YARD	(FT)	10	N/A	N/A	15.34	15.34	4.23(EN)	4.23 (EN)	114-12C5
SIDE YARD (AGG.)	(FT)	25	N/A	N/A	200.68	200.68	65.33	65.33	
REAR YARD	(FT)	25	N/A	N/A	17.84 (EN)	17.84 (EN)	156.58	156.58	114-12C5
MAXIMUM IMPERVIOUS COVERAGE	(%)	70%	50.0%	50.0%	41.3%	34.6%	61.6%	70.9%	1
MAXIMUM BUILDING HEIGHT	(FT)	<35'	78.547	78.231	35.961	30.125	42.586	49.031	114-12C3
PARKING REQUIREMENTS									
MINIMUM STALL SIZE		10 X 20	N/A	10X20	N/A	10 X 20	9X20 (EN)	9X20 (EN)	10X20
MINIMUM AISLE WIDTH	(FT)	24	N/A	24	N/A	24	N/A	24	
MINIMUM PARKING SETBACKS									
FRONT YARD	(FT)	10	N/A	N/A	N/A	20.55	N/A	148.82	114-134
SIDE YARD	(FT)	10	N/A	N/A	N/A	10.04	N/A	17.05	114-134
REAR YARD	(FT)	10	N/A	N/A	N/A	138.74	N/A	24	114-134

RECORD PLAN LEGEND	
	PROPERTY LINE (PI0)
	PROPERTY LINE (ADJOINER)
	PROPERTY LINE (ROW)
	ROADWAY CENTERLINE
	BUILDING SETBACK LINE
	EASEMENT LINE
	PROP. EASEMENT LINE
	SAWCUT LIMITS
	EXISTING IMPERVIOUS TO BE REPAVED
	PROPOSED PAVEMENT
	BUILDING EAVE / OVERHANG
	OVERHEAD WIRES

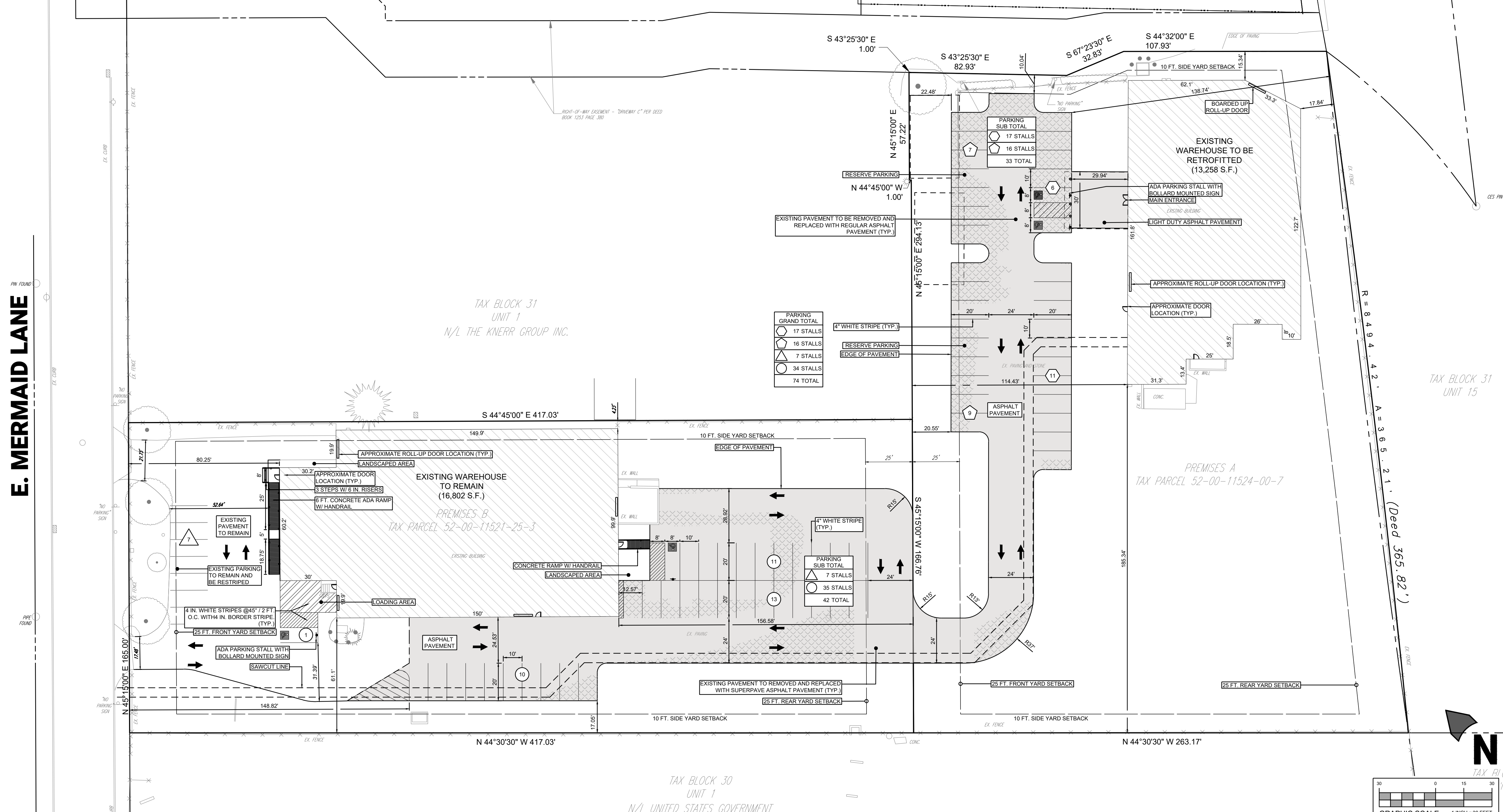
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PARKING REQUIREMENTS PREMISES B - BUILDING 1		
CALCULATION BY USE	REQUIRED	PROPOSED
"EXISTING WAREHOUSE" (S144-133)(X12)	42	42
1 PER 400 SF GFA		
TOTAL PARKING SUMMARY	42	42

PREMISES A		
CALCULATION BY USE	REQUIRED	PROPOSED
"EXISTING WAREHOUSE" (S144-133)(X12)	33	33
1 PER 400 SF GFA		
TOTAL PARKING SUMMARY	33	(17 CONSTRUCTED / 16 RESERVE)

- RECORD/SITE NOTES**
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO LANDCORE ENGINEERING CONSULTANTS, P.C. (HEREINAFTER "THE ENGINEER") AT THE TIME OF PREPARATION. ALL ELEVATIONS SHOWN CORRELATE TO THE REFERENCED SURVEYORS BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDWORK. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY, IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO ORDER AND/OR FABRICATION OF STRUCTURES AND MATERIALS, OR COMMENCEMENT WITH CONSTRUCTION ACTIVITIES.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH OR EXCEED ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND CODES, AND OSHA STANDARDS.
 - THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY / ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH ALL PROJECT RELATED RESOURCES, TECHNICAL REPORTS AND DESIGN DOCUMENTS PREPARED FOR THE PROJECT, INCLUDING, BUT NOT LIMITED TO ANY PREPARED GEOTECHNICAL REPORTS, ENVIRONMENTAL REPORTS, PERMIT GUIDANCE, ET AL. UPON REVIEW OF PROJECT RELATED RESOURCES, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF ANY CONFLICTS BETWEEN THE PLANS AND RESOURCES AND SUCH DISCREPANCY SHALL BE REVIEWED WITH ENGINEER PRIOR TO COMMENCING ANY WORK RELATED TO SUCH.
 - IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS. LANDCORE ENGINEERING CONSULTANTS HAS MADE A POINT IN THE PROVIDED NOTES AND DETAILS, AS WELL AS IN THE DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS (AS LAST REVISED) AS WELL AS APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, LATEST EDITIONS, IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER, IN WRITING, IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK. THE CONTRACTOR SHALL CONFIRM THE DESIGNATED ADA ACCESSIBLE AREAS AND ROUTES PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE DESIGNATED AREAS AND ROUTES IN ACCORDANCE WITH THE MOST CURRENT ADA GUIDELINES AS APPLICABLE TO THE PROJECT.
 - STORMWATER MANAGEMENT FACILITIES.
 - THE PROPOSED ON-SITE STORMWATER MANAGEMENT FACILITIES SHALL BE OWNED AND MAINTAINED BY THE APPLICANT, UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS.
 - A BLANKET EASEMENT IS HEREBY GRANTED TO THE MUNICIPALITY FOR ACCESS AND INSPECTION OF THE STORMWATER PRACTICES (BMPs) AS INDICATED ON THESE PLANS. THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF REASONABLE ACCESS AT REASONABLE TIMES TO EVERY BMP AND CONVEYANCE FROM A PUBLIC RIGHT-OF-WAY OR ROADWAY INTO THE PROPERTY TO CONDUCT PERIODIC INSPECTIONS AS OUTLINED IN ANY APPLICABLE EASEMENT AGREEMENT AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE AND ANY APPLICABLE OPERATION AND MAINTENANCE PLANS AND/OR OPERATION AND MAINTENANCE AGREEMENTS.
 - THE STORMWATER MANAGEMENT FACILITIES, AS DEPICTED HEREIN, ARE PERMANENT STRUCTURES. NO PERSON OR ENTITY SHALL MODIFY, REMOVE, FILL, LANDSCAPE OR OTHERWISE ALTER ANY STORMWATER MANAGEMENT FACILITY WHICH HAS BEEN INSTALLED ON A PROPERTY UNLESS A STORMWATER MANAGEMENT PLAN REVISION HAS BEEN SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, ALONG WITH THE REVIEW AND ADVICE OF THE MUNICIPAL ENGINEER AND THE COUNTY CONSERVATION DISTRICT, WHICH AUTHORIZES SUCH MODIFICATION, REMOVAL, FILLING, LANDSCAPING OR ALTERATION. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING OR VEGETATION WITHIN A STORMWATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH HAS THE EFFECT OF OR TO ANY DEGREE LIMITS OR ALTERS THE FUNCTIONING OF THE FACILITY OR EASEMENT IN ACCORDANCE WITH ITS DESIGN AND INTENDED FUNCTION.
 - WATER / SEWER: THIS SITE SHALL BE SERVICED BY PUBLIC WATER AND SANITARY SEWER.
 - WETLANDS: BY APPROVAL OF THIS PLAN, THE MUNICIPALITY HAS NEITHER CONFIRMED NOR DENIED THE EXISTENCE AND/OR EXTENT OF ANY WETLAND AREAS WHETHER OR NOT DELINEATED ON THE SAID PLAN AND ANY ENCROACHMENT THEREON FOR ANY REASON WHATSOEVER SHALL BE THE SOLE RESPONSIBILITY OF THE DEVELOPER, HIS HEIRS AND ASSIGNS AND SHALL BE SUBJECT TO THE JURISDICTION OF THE ARMY CORPS OF ENGINEERS AND/OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS THE SAID ENCROACHMENT SHALL CONFORM TO THE RULES AND REGULATIONS OF THE JURISDICTIONAL AGENCIES.
 - FLOODPLAIN: THE SITE DOES NOT LIE WITHIN THE 100-YR FLOODPLAIN LIMIT AS SHOWN ON A FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 42010303G, EFFECTIVE DATE 03/02/2016.
 - MONUMENTATION NOTE: MONUMENTS AND MARKERS SHALL BE SET AT ALL PROPERTY BOUNDARY CORNERS IN ACCORDANCE WITH SPRINGFIELD TOWNSHIP AND AS INDICATED ON THESE PLANS. SUITABLE MARKERS SHALL BE SUBSTITUTED FOR MONUMENTS TO BE SET IN PAVEMENT OR CONCRETE AREAS. DETAILS OF THE LOCATION AND TYPE OF SUCH MARKERS SHALL BE PROVIDED TO THE MUNICIPAL ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
 - EASEMENTS: A 10 FT UTILITY EASEMENT IS PROPOSED ACROSS TAX PARCEL 52-00-11521-25-3 (PREMISES B) FOR THE BENEFIT OF TAX PARCEL 52-00-11524-00-7 (PREMISES A).



LANDCORE
PHILADELPHIA, PENNSYLVANIA 19101-0638
PHONE 215-836-2510
LANDCORECONSULTING.COM

NOT FOR CONSTRUCTION

D. ALEXANDER TWEEDIE
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. 071873

REV.	DATE	REVISED PER	BY

PROJECT No. **220053**
FILE **RECORD**
DRAWN BY **J. JACOBS**
CHECKED BY **A. TWEEDIE**

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19038
SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT **5 STAR VENTURE 1 LP**

RECORD PLAN
TITLE

DATE **2023-02-28**
RP 0
SHEET **03 OF 08** REV. No.

PRIOR TO CONSTRUCTION, GC IS TO LOCATE BY MEANS OF TEST PITS ALL EXISTING UTILITIES / CONNECTION POINTS GC IS TO VERIFY LOCATION, SIZE, ELEVATION & CONDITION OF ALL SERVICES BEING UTILIZED.

- UTILITY NOTES**
- LOCATIONS OF ALL EXISTING AND PROPOSED UTILITY LINES ARE APPROXIMATE. CONTRACTOR IS TO CONFIRM LOCATIONS, SIZES, MATERIALS, AND CONNECTION POINTS INDEPENDENTLY IN ACCORDANCE WITH ARCHITECTURAL/MEP DRAWINGS AND WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
 - ALL UTILITIES AND SERVICES WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED OR RELOCATED SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPLICABLE UTILITY COMPANY REGARDING THE REMOVAL OR RELOCATION OF SUCH. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/ RELOCATED DURING SITE CONSTRUCTION ACTIVITY.
 - CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE NATIONAL UTILITY NOTIFICATION SYSTEM (811) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING ANY REMOVAL, DISCONNECTION, ABANDONMENT, OR RELOCATIONS OF ANY UTILITY IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN REMOVED, TERMINATED, DISCONNECTED, RELOCATED AND/OR ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND/OR UTILITY COMPANY REQUIREMENTS.
 - ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
 - ELECTRIC, CABLE & TELEPHONE LOCATIONS PROVIDED ON THESE PLANS AREA APPROXIMATE AND SHOWN FOR SCHEMATIC PURPOSES ONLY. ACTUAL LOCATIONS ARE TO BE DESIGNED AND SUBMITTED BY LOCAL UTILITY SERVICE COMPANIES UPON CONTRACTOR FILING THE REQUIRED SERVICE CONNECTION APPLICATION FOR THE PROJECT.
 - THE TOPS OF EXISTING MANHOLES AND UTILITY STRUCTURES SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
 - ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE UTILITY, MUNICIPAL OR STATE REGULATION UNLESS A GEOTECHNICAL REPORT FOR THE PROJECT SITE HAS BEEN PREPARED AND PROVIDES GUIDANCE FOR THESE ITEMS. IN SUCH CASES, THE MORE STRINGENT RECOMMENDATIONS SHALL BE IMPLEMENTED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ANY IMPORT SOIL(S) ARE CERTIFIED "CLEAN FILL" AS DEFINED BY THE APPLICABLE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 - ALL MANHOLE OR CLEANOUT COVERS SHALL BE STAMPED WITH THE APPROPRIATE UTILITY CALLOUT WHICH MAY INCLUDE BUT IS NOT LIMITED TO, "SANITARY," "STORM," "WATER," "ELECTRIC," "GAS" OR "TELE." PRIOR TO FABRICATING, THE CONTRACTOR MUST COORDINATE WITH THE APPROPRIATE UTILITY OWNER TO DETERMINE THE EXACT NOMENCLATURE THAT SHOULD BE STAMPED ON THE RESPECTIVE COVER.

UTILITY PLAN LEGEND

SYMBOL	DESCRIPTION
—	MAJOR CONTOUR
- - -	MINOR CONTOUR
—	PROP. MAJOR CONTOUR
- - -	PROP. MINOR CONTOUR
—	OVERHEAD WIRES
—	PROP. SANITARY LATERAL
—	PROP. 4" SANITARY LATERAL
—	PROP. WATER MAIN / LATERAL
—	PROP. 6" WATER LINE
—	PROPERTY LINE (INTERIOR)
—	PROPERTY LINE (ADJOINER)
—	PROPERTY LINE (ROW)
—	EASEMENT LINE

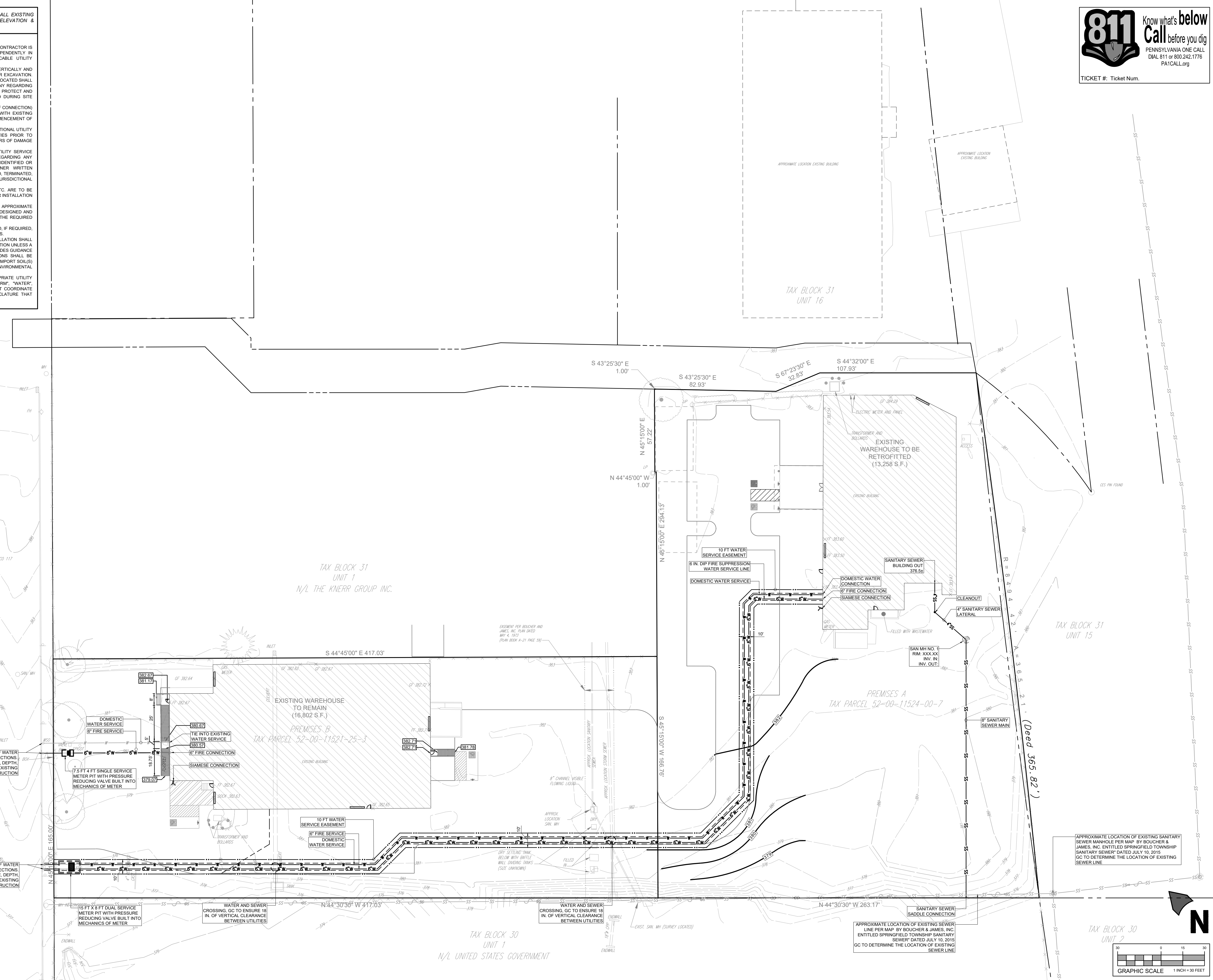
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E. MERMAID LANE



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COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
A. TWEEDE
ENGINEER No. PE011873
PENNSYLVANIA
D. ALEXANDER TWEEDE
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. 071873

REV.	DATE	REVISED PER	BY

PROJECT No. **220053**
FILE **UTILITY**
DRAWN BY **J. JACOBS**
CHECKED BY **A. TWEEDE**

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19008
SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT **5 STAR VENTURE 1 LP.**

UTILITY & GRADING PLAN

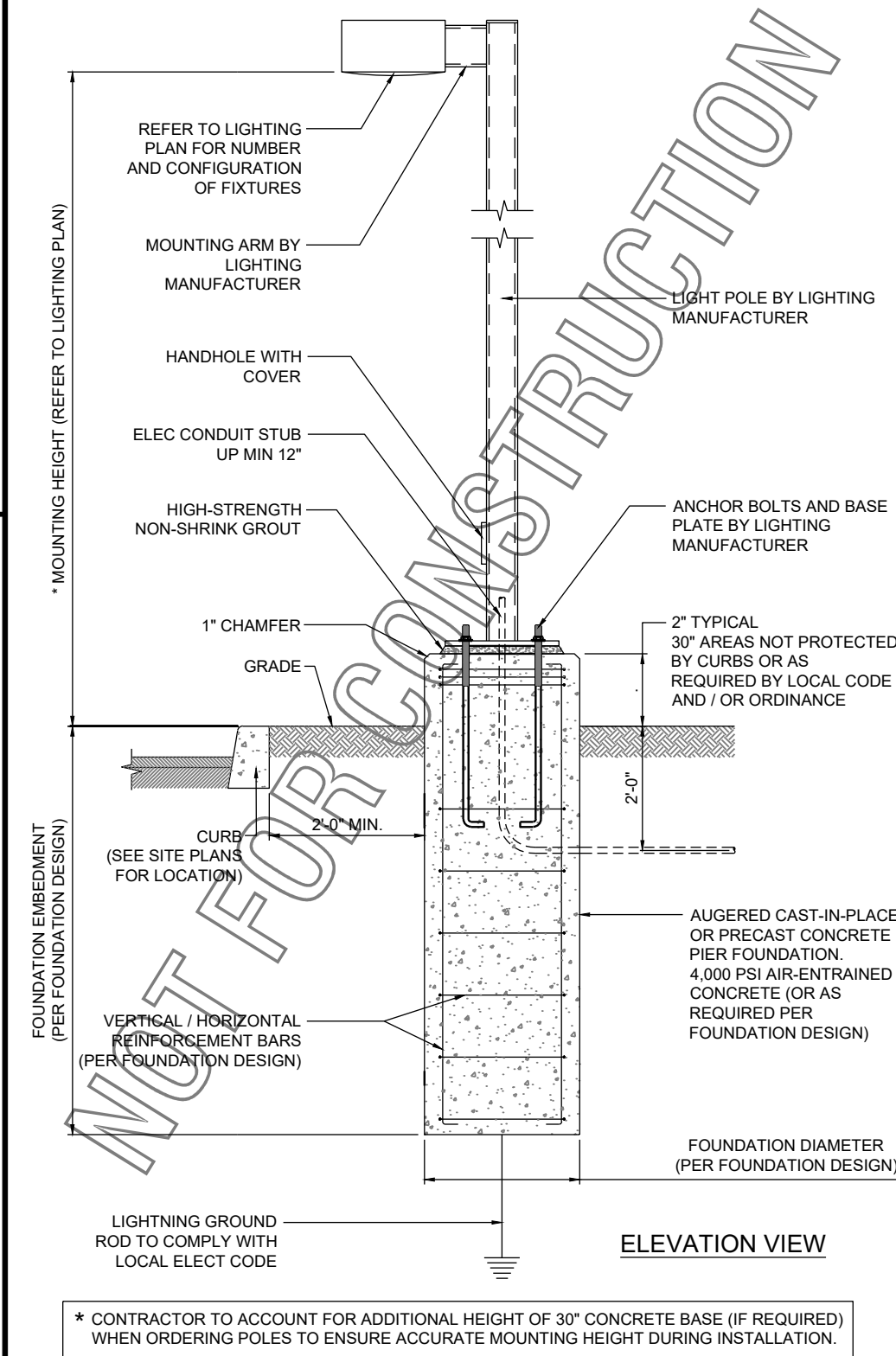
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LIGHT POLE FOUNDATION NOTES

- CONTRACTOR TO OBTAIN PROJECT SPECIFIC, SIGNED/SEALED FOUNDATION DESIGN AND SUBMIT TO ENGINEER OF RECORD FOR REVIEW PRIOR TO CONSTRUCTION OF PROPOSED FOUNDATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL ENSURE NO CONFLICTS ARISE BETWEEN LIGHT POLE FOUNDATIONS, STRUCTURES, AND UTILITIES. IF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DESIGN PLANS ARISE, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL HAVE A GEO-TECHNICAL ENGINEER, LICENSED IN THE PROJECT'S STATE, ON SITE TO INSPECT FILL, MONITOR FILL COMPACTION AND TO VERIFY SUBGRADE ALLOWABLE BEARING CAPACITY AND SOIL DESIGN CRITERIA PRIOR TO CONSTRUCTION IN ACCORDANCE WITH THE FOUNDATION DESIGN PARAMETERS. UNSUITABLE MATERIALS FOUND SHALL BE REMEDIATED AS PER THE DIRECTION OF THE ON SITE GEO-TECHNICAL ENGINEER.
- IF CONDITIONS IN THE FIELD ARE DIFFERENT THAN THOSE INDICATED IN THE FOUNDATION DESIGN, THE ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY.



XX LIGHT POLE FOUNDATION
NOT TO SCALE

D-Series Size 1 LED Area Luminaire

Specifications

EPA: 0.69 ft (0.06 m)

Length: 32.71" (83.1 cm)

Width: 14.26" (36.2 cm)

Height H1: 7.88" (20.0 cm)

Height H2: 2.73" (6.9 cm)

Weight: 34 lbs (15.4 kg)

C1 DSX1 AREA LIGHTFIXTURE
NOT TO SCALE

D-Series DSXF2 LED Floodlight

Specifications

EPA @ 90°: 0.8 ft (0.07 m)

Depth: 4.32" (11.0 cm)

Width: 12.87" (32.7 cm)

Height: 7.83" (19.9 cm)

Overall Height: 15.33" (38.9 cm)

Weight: 12.0 lbs (5.4 kg)

D1 DSX FLOODLIGHT FIXTURE
NOT TO SCALE

D-Series Size 1 LED Wall Luminaire

Specifications Luminaire

Width: 13-3/4" (34.7 cm)

Depth: 10" (25.4 cm)

Height: 6-3/8" (16.2 cm)

Weight: 12 lbs (5.4 kg)

Back Box (BBW, E20WC)

Width: 13-3/4" (34.7 cm)

Depth: 4" (10.2 cm)

Height: 6-3/8" (16.2 cm)

Weight: 5 lbs (2.3 kg)

BBW Weight: 10 lbs (4.5 kg)

E20WC Weight: 10 lbs (4.5 kg)

A2 DSX1 WALL MOUNT FIXTURE
NOT TO SCALE

WSQ LED Architectural Wall Sconce

Specifications Luminaire

Height: 9-3/8" (23.8 cm)

Width: 18" (45.7 cm)

Depth: 9" (22.8 cm)

Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4" (10.2 cm)

Width: 5-1/2" (14.0 cm)

Depth: 1-1/2" (3.8 cm)

Weight: 5 lbs (2.3 kg)

A3 WSQ WALL MOUNT FIXTURE
NOT TO SCALE

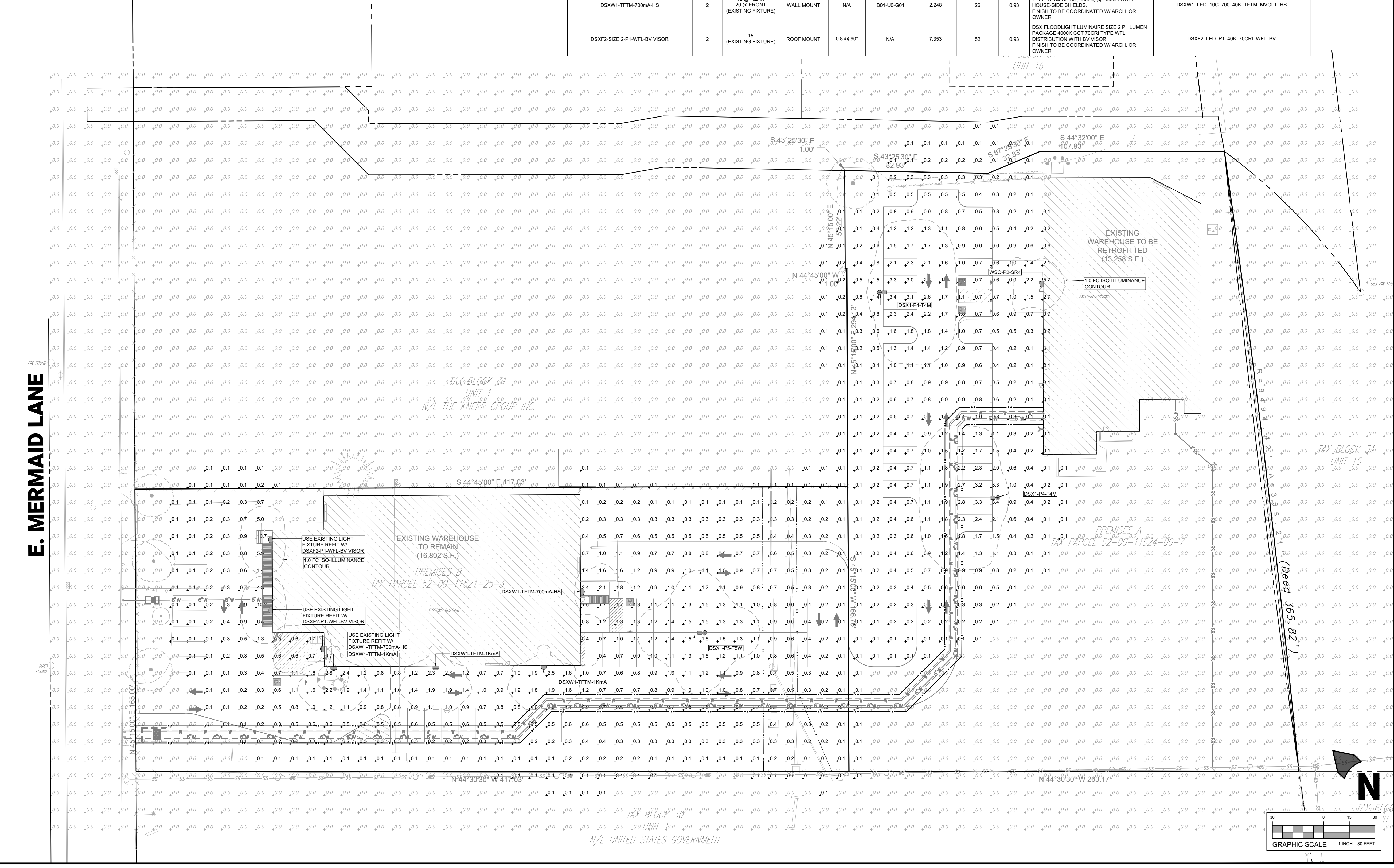
SITE LIGHTING STATISTICS

	AVG fc	MAX. fc	MIN. fc	MAX / MIN	AVG / MIN
FRONT BUILDING - SIDE PARKING	1.1 fc	2.8 fc	0.5 fc	5.6:1	2.2:1
FRONT BUILDING - RAMP @ FRONT	3.2 fc	10.7 fc	0.5 fc	21.4:1	6.4:1
FRONT BUILDING - REAR PARKING	0.9 fc	1.5 fc	0.3 fc	5.0:1	3.0:1
FRONT BUILDING - LOADING DOCK	1.2 fc	1.6 fc	0.9 fc	1.8:1	1.3:1
REAR BUILDING - PARKING	1.3 fc	3.4 fc	0.3 fc	11.3:1	4.3:1
REAR BUILDING - FRONT WALK	1.7 fc	5.2 fc	0.7 fc	7.4:1	2.4:1

THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.

LIGHT FIXTURE SCHEDULE

PLAN LABEL	QTY	MOUNTING HEIGHT (FT)	MOUNTING TYPE	FIXTURE EPA	BUG RATING	LUMENS PER LAMP	WATTAGE	LLF	DESCRIPTION	MANUFACTURER / CATALOG NUMBER
DSXW1-TFTM@1K	3	12	WALL MOUNT	N/A	B01-U0-G01	3,945	39	0.93	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K @ 700MA, FINISH TO BE COORDINATED W/ ARCH. OR OWNER	DSXW_1_LED_10C_1000_40K_TFTM_MVOLT
DSX1-PS-T5W	1	20	POLE MOUNT	0.69	B05-U0-G03	15,610	138	0.93	D-SERIES SIZE 1 AREA LUMINAIRE P4 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE S WIDE FINISH TO BE COORDINATED W/ ARCH. OR OWNER	DSX1_LED_P4_40K_80CRI_T5W
DSX1-P4-T4M	2	20	POLE MOUNT	0.69	B02-U0-G04	12,843	124	0.93	D-SERIES SIZE 1 AREA LUMINAIRE P4 PERFORMANCE PACKAGE 4000K CCT 80 CRI TYPE 4 MEDIUM HOUSING SHIELD FINISH TO BE COORDINATED W/ ARCH. OR OWNER	DSX1_LED_P4_40K_80CRI_T4M_HS
WSQ-P2-SR4	1	12	WALL MOUNT	N/A	N/A	3,053	29	0.93	WSQ LED WITH P2-PERFORMANCE PACKAGE, 4000K AND SR4 OPTIC TYPE FINISH TO BE COORDINATED W/ ARCH. OR OWNER	WSQ_LED_P2_SR4_40K_MVOLT
DSXW1-TFTM-700MA-HS	2	12	WALL MOUNT	N/A	B01-U0-G01	2,248	26	0.93	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K @ 700MA WITH HOUSE-SIDE SHIELDS, FINISH TO BE COORDINATED W/ ARCH. OR OWNER	DSXW1_LED_10C_700_40K_TFTM_MVOLT_HS
DSXF2-SIZE 2-P1-WFL-BV VISOR	2	15 (EXISTING FIXTURE)	ROOF MOUNT	0.8 @ 90°	N/A	7,353	52	0.93	DSX FLOODLIGHT LUMINAIRE SIZE 2 P1 LUMEN PACKAGE 4000K CCT 70CRI TYPE WFL DISTRIBUTION WITH BV VISOR, FINISH TO BE COORDINATED W/ ARCH. OR OWNER	DSXF2_LED_P1_40K_70CRI_WFL_BV



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NOT FOR CONSTRUCTION

D. ALEXANDER TWEEDIE
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE017873

PROJECT No. **220053**

FILE **LIGHTING**

DRAWN BY **J. JACOBS**

CHECKED BY **A. TWEEDIE**

LIGHTING PLAN

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19038
PROJECT SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT **5 STAR VENTURE 1 LP**

DATE **2023-02-28**

SHEET **05 OF 09** REV. NO. **0**

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EAS PLAN...
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
3. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS...

EROSION & SEDIMENT CONTROL STANDARD NOTES:

- 1. THE CONTRACTOR/OPERATOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS...
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES...
3. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN...
4. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES...

EROSION & SEDIMENT CONTROL MAINTENANCE PROGRAM

UNTIL THE SITE IS STABILIZED, ALL TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT POLLUTION CONTROL BMPS AS INDICATED BELOW AND IN ACCORDANCE WITH THE RESPECTIVE CONTROL REQUIREMENTS...

- 1. THE OWNER/DEVELOPER/PERMITEE SHALL BE RESPONSIBLE FOR THE FOLLOWING:
1.1. TO ENSURE THAT THE CONTRACTOR CONDUCTS HIS OPERATIONS AND MAINTENANCE ACCORDING TO THE APPROVED EROSION AND SEDIMENT POLLUTION CONTROL PLAN...
1.2. (AND/OR CO-PERMITEE) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY...
2. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
2.1. CONSTRUCT AND MAINTAIN ALL REQUIRED EROSION AND SEDIMENT POLLUTION CONTROL BMPS THROUGHOUT THE CONSTRUCTION PROCESS...

PERMANENT STABILIZATION NOTES

- A. STANDARD FOR SEEDING AND SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER:
a. SITE PREPARATION:
1. GRADS AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEED BED PREPARATION...
2. SURFACES SHALL BE TESTED BY A REPUTABLE LABORATORY FOR THE LIMES REQUIREMENT...
3. IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL...
b. APPLYING TOPSOIL:
1. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE...
2. ALL DISTURBED TOPSOIL ON-SITE IS TO BE REDISTRIBUTED ON-SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES...
c. SEED BED PREPARATION:
1. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE...
2. AGRICULTURAL LIMES SHALL BE APPLIED AT A RATE OF 6.0 TONS/ACRE OR 240 LBS/1,000 S.F. OR 2.400 LBS/5.0 S.F....

TEMPORARY STABILIZATION NOTES

- SURFACE STABILIZATION DETAILS:
ALL UNDEVELOPED SOIL SURFACES, INCLUDING SOIL STOCKPILES, ARE SUBJECT TO EROSION AND SHALL BE STABILIZED EITHER TEMPORARILY OR PERMANENTLY...
A. TEMPORARY COVER ON DISTURBED AREAS:
1. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE (1) YEAR MAY BE SEEDED AND MULCHED WITH A TEMPORARY COVER...
2. AFTER SEEDING, MULCH WITH HAY OR STRAW AT A RATE OF 3.0 TONS/ACRE OR 138 LBS/1,000 S.F. (MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING)...
B. STANDARD FOR STABILIZATION WITH MULCH:
1. PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE...
2. STRAW AND HAY MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT WIND BLOWING...
C. STANDARD FOR LAND GRADING:
1. DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLANNED GRADES WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT...
2. PROVISIONS SHALL BE MADE TO SAFELY CONVEY SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES...

PERMITEE OVERSIGHT NOTE

THE PERMITEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER.

CHAPTER 93 RECEIVING WATERCOURSE NOTE:

THE SITE DRAINS TO BROOKE EVANS CREEK. THIS TRIBUTARY IS CLASSIFIED AS, WARM WATER FISHES (WWF).

DISPOSAL AND RECYCLING

- 1. THE CONTRACTOR/DEVELOPER SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OR RECYCLING OF ALL WASTE MATERIALS...
2. CONCRETE WASH WATER SHALL BE CONTROLLED TO PROJECT AREAS THAT WILL RECEIVE CONCRETE PAVING AS PART OF THE PROJECT'S PROPOSED CONDITIONS...
3. IN THE EVENT OF A SINK FORMATION UNDER THE SUPERVISION OF A PROFESSIONAL GEOLOGIST OR A LICENSED GEOTECHNICAL ENGINEER...

POTENTIAL POLLUTION IDENTIFICATION

NO POTENTIAL POLLUTION HAS BEEN IDENTIFIED FOR THIS SITE.

THERMAL IMPACTS NOTE:

RUNOFF FROM THE PROJECT SITE SETTLES IN SURFACE BASINS AND SOIL MEDIA PRIOR TO DISCHARGE TO THE RECEIVING WATER COURSE...

CLEAN FILL/EXPORT REQUIREMENTS:

IF THE PROJECT WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.

MONITORING, INSPECTION & REPORTING REQUIREMENTS

- 1. THE PERMITEE AND CO-PERMITEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY AND WITHIN 24 HOURS AFTER EACH MEASURABLE RAINFALL EVENT...
2. THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION...
3. STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NONCOMPLIANCE: AND
4. THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE CONDITIONS.

COMPLETION CERTIFICATE AND FINAL PLANS

- 1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY...
2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE KEPT CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS...
3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH...
4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY...

NOTICE OF TERMINATION OF COVERAGE (N.O.T.)

N.O.T.: UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITIES ASSOCIATED WITH CONSTRUCTION OF THIS PROJECT, THIS PERMIT AND WHEN BMPs IDENTIFIED IN THE PCSM PLAN HAVE BEEN PROPERLY INSTALLED, THE PERMITEE AND/OR CO-PERMITEE OF THE FACILITY MUST SUBMIT A N.O.T. FORM THAT IS SIGNED IN ACCORDANCE WITH PART 61, SECTION 1(C), SIGNATORY REQUIREMENTS OF THIS PERMIT...

STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN

CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.

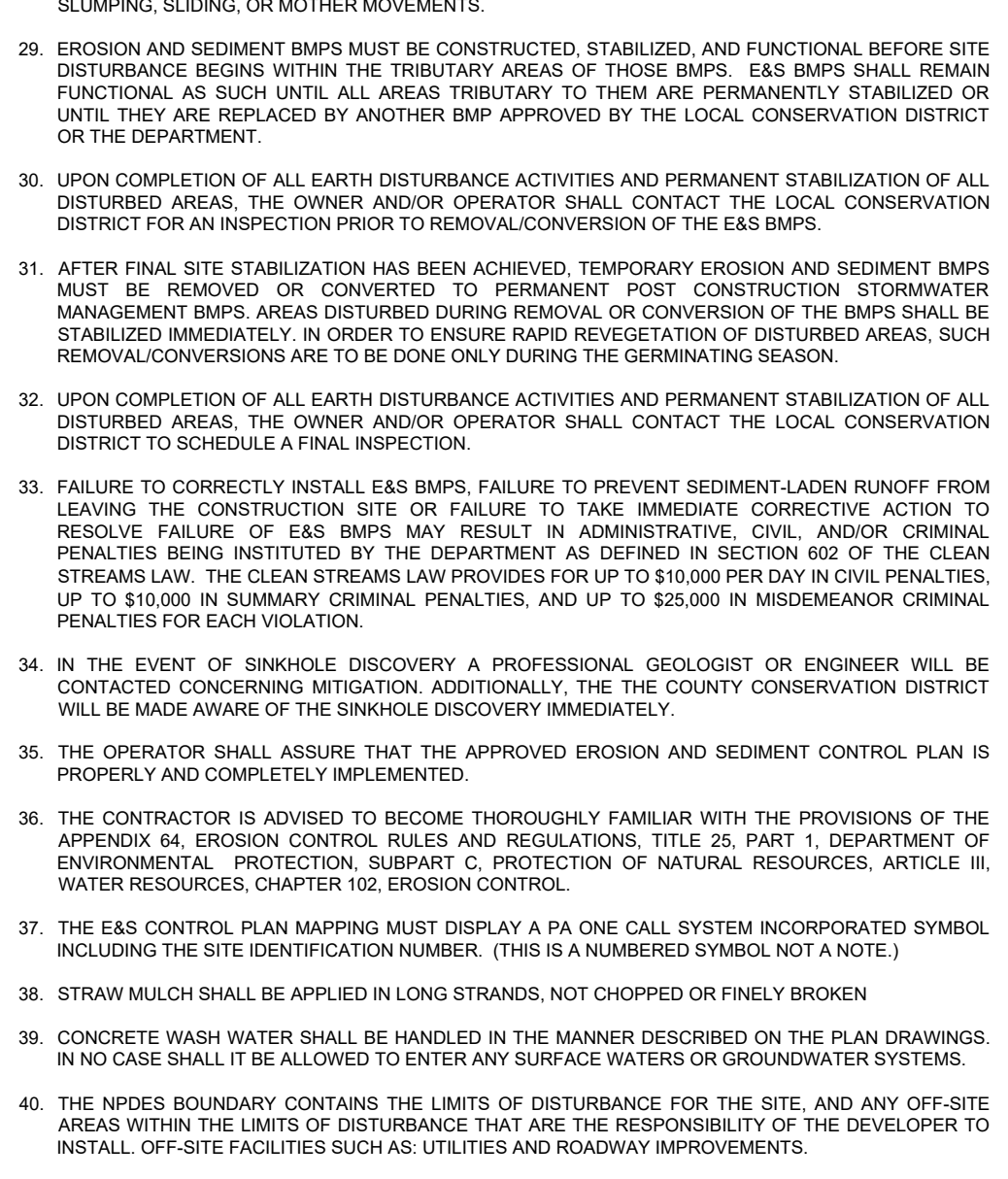
THE EAS CONTROL PLAN MAPPING MUST DISPLAY A PA ONE CALL SYSTEM INCORPORATED SYMBOL INCLUDING THE SITE IDENTIFICATION NUMBER.

ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.

ON PAVED SURFACES, CONCRETE BLOCKS SHOULD BE USED IMMEDIATELY DOWNSLOPE OF SOCKS (AT SAME INTERVALS AS STAKES)

COMPOST FILTER SOCK



COMPOST STANDARDS

Table with 4 columns: ORGANIC MATERIAL CONTENT, ORGANIC PORTION, MOISTURE CONTENT, SOLUBLE SALT CONCENTRATION. Values range from 25% to 100% (dry weight basis) for organic content, 5.5-8.5% for organic portion, 80%-60% for moisture content, and 0.5 dSm (ombrhos/cm) MAXIMUM for soluble salt concentration.

COMPOST STOCK FABRIC MINIMUM SPECIFICATIONS

Table with 4 columns: MATERIAL TYPE, MESH OPENING, TENSILE STRENGTH, STABILITY % (1000 hr). Rows include 3mil HDPE, 5mil HDPE, 5mil HDPE, and 5mil HDPE with various mesh openings (12\", 18\", 24\", 36\", 48\") and tensile strengths (26 PSI, 44 PSI, 202 PSI).

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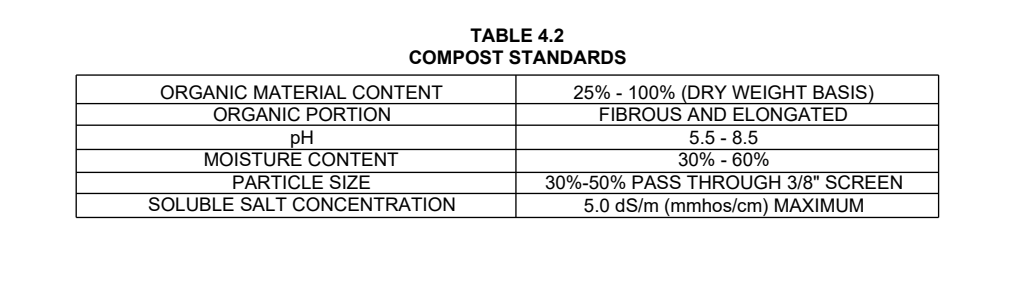
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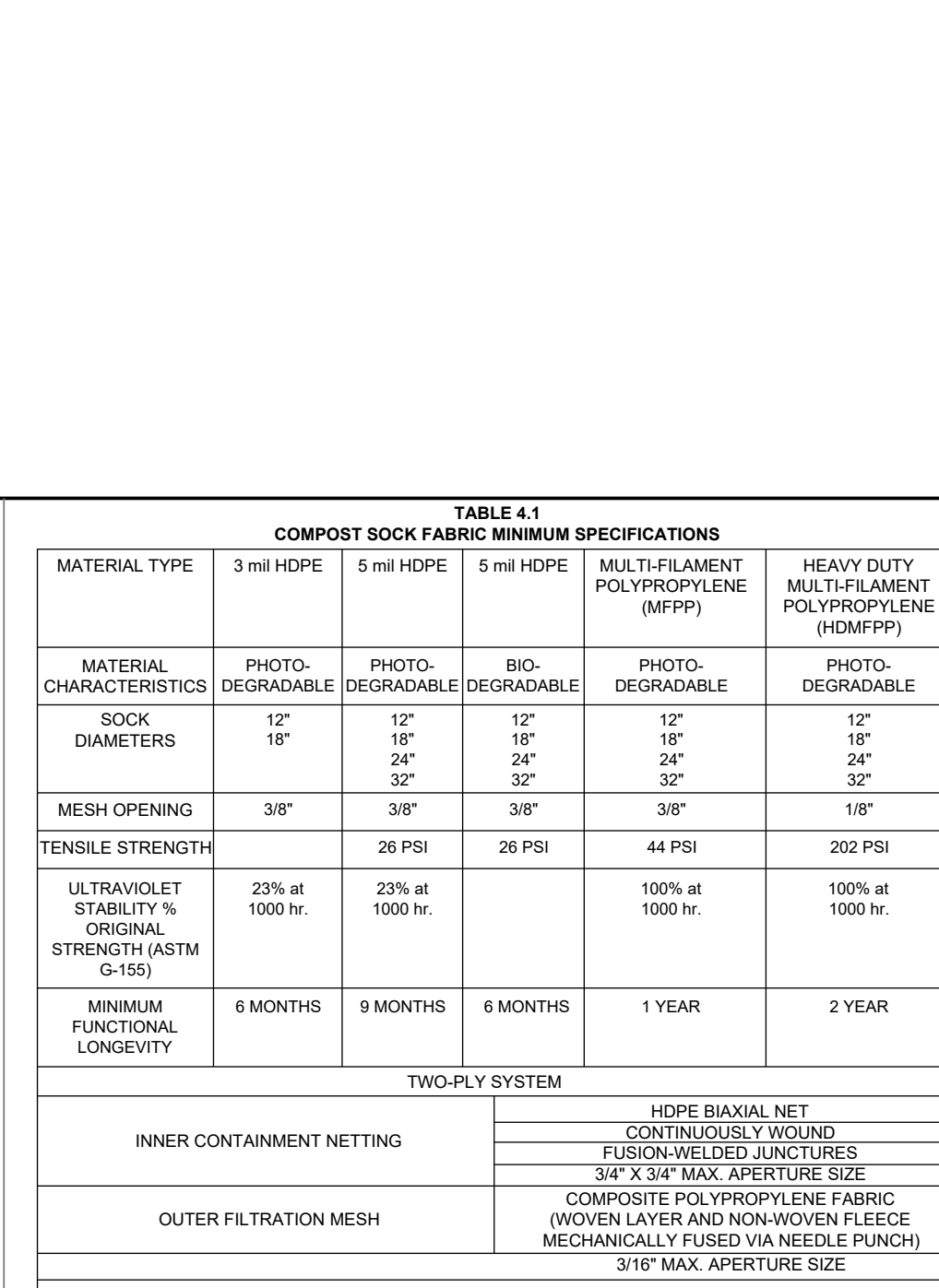
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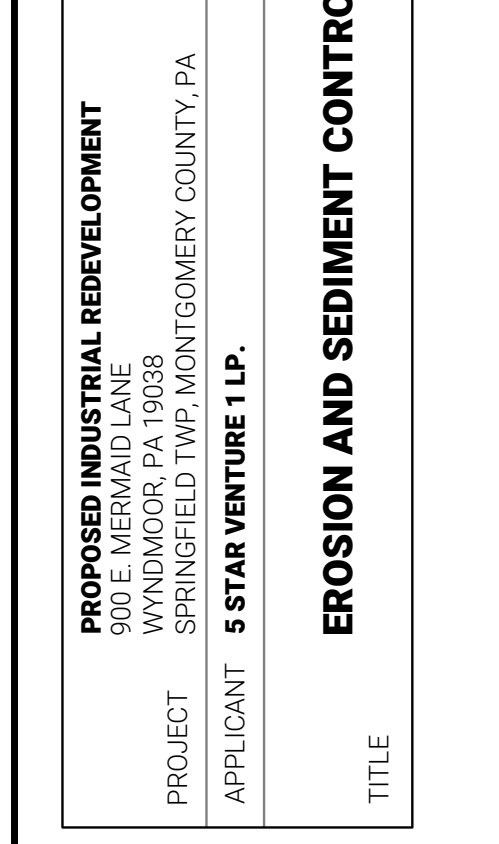
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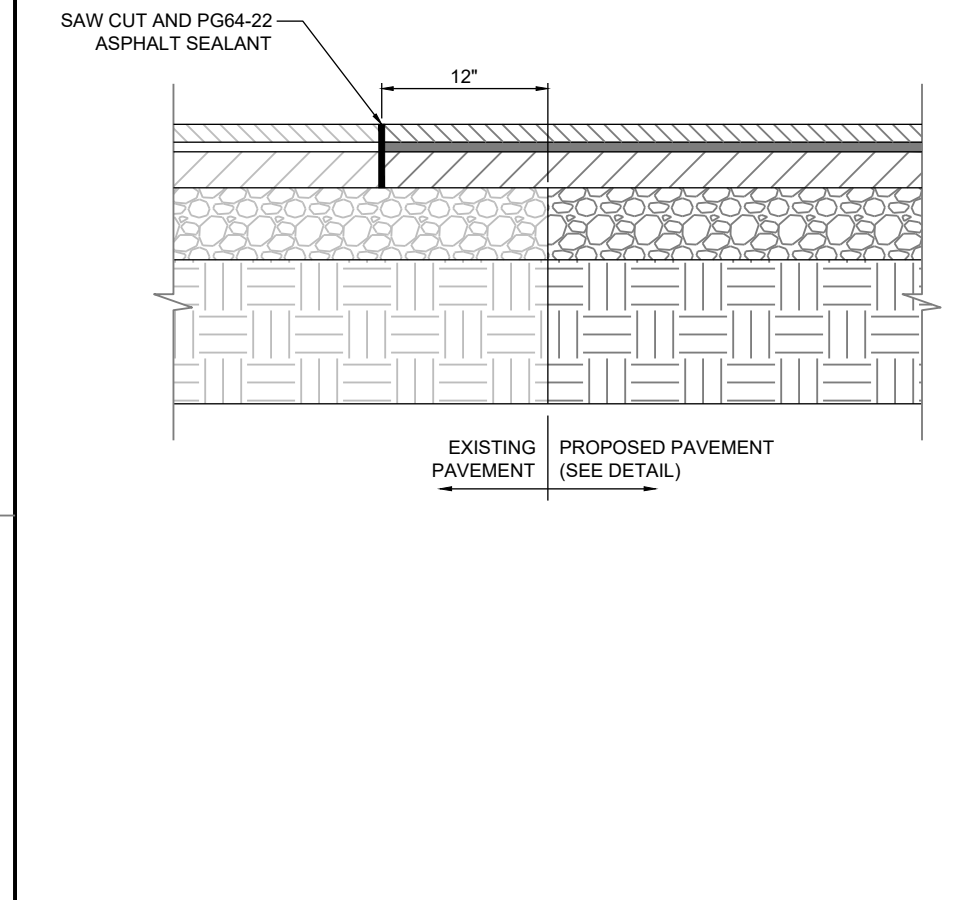
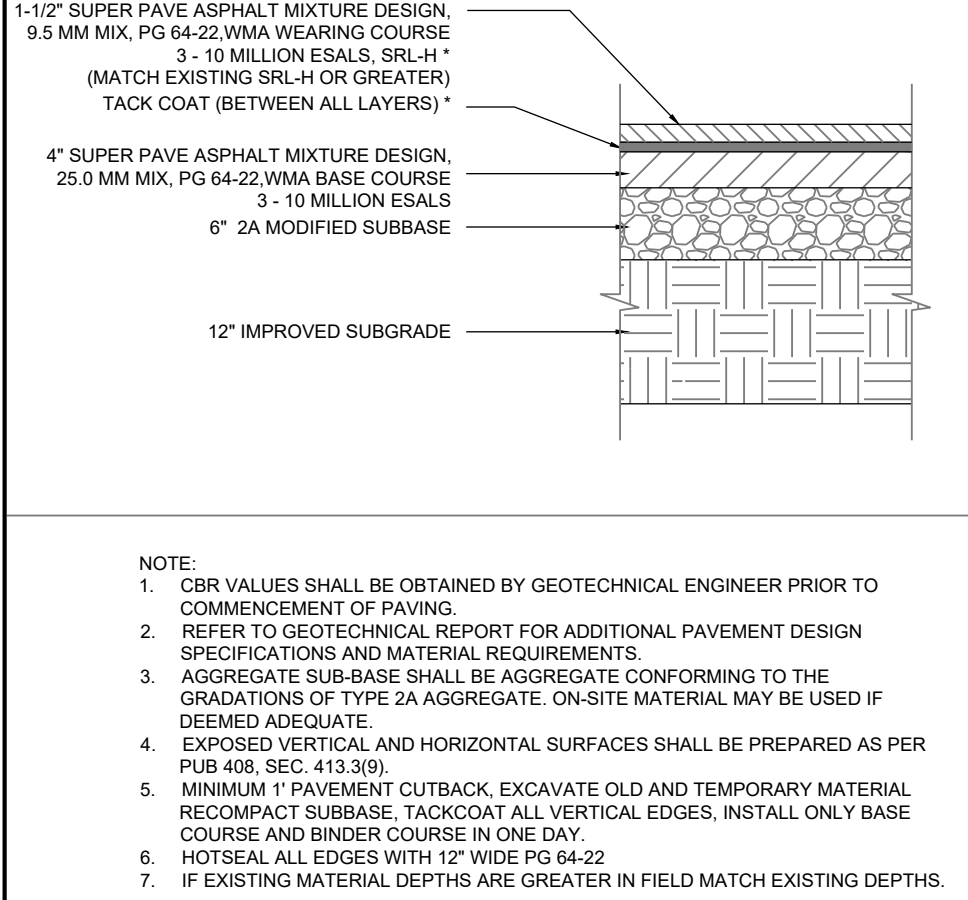
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GENERAL CURB RAMP NOTES:
THE FOLLOWING SHALL BE APPLICABLE TO ALL CURB RAMP PROVIDED ON THE PROPOSED PLAN

1. THE MAXIMUM RUNNING SLOPE OF A CURB RAMP SHALL BE 8.33% AND THE MAXIMUM CROSS SLOPE SHALL BE 2.0%.
2. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 5%. THE ADJACENT SURFACES AT TRANSITIONS AT CURB RAMP TO WALKS, GUTTERS AND STREETS SHALL BE AT THE SAME LEVEL.
3. THE CLEAR WIDTH OF A CURB RAMP SHALL BE SIXTY (60) INCHES MINIMUM, EXCLUSIVE OF FLARED SIDES, IF PROVIDED.
4. LANDINGS SHALL BE PROVIDED AT THE TOP OF CURB RAMP. THE CLEAR LENGTH OF THE LANDINGS SHALL BE THIRTY-SIX (36) INCHES MINIMUM. THE CLEAR WIDTH OF THE LANDING SHALL BE AT LEAST AS WIDE AS THE CURB RAMP, EXCLUDING FLARED SIDES. LEADING TO THE LANDING. LANDINGS SHALL HAVE A SLOPE NOT STEEPER THAN 2% IN ANY DIRECTION.
5. IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES.
6. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT EXCEED 10%. IF THE CLEAR LENGTH OF THE LANDING IS LESS THAN FORTY-EIGHT (48) INCHES THAN THE SLOPE OF THE FLARED SIDES SHALL NOT EXCEED 8.33%.
7. CURB RAMP AND THE FLARED SIDES OF CURB RAMP SHALL BE LOCATED SO THAT THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES, PARKING SPACES OR PARKING ACCESS AISLES. CURBS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS. EXCLUDING ANY FLARED SIDES.
8. CURB RAMP SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
9. CURB RAMPS SHALL HAVE A TWENTY-FOUR (24) INCH DEEP DETECTABLE WARNING COMPLYING WITH ADAAG, EXTENDING THE FULL WIDTH OF THE RAMP. REFER TO DETECTABLE WARNING DETAILS AND NOTES FOR PLACEMENT, ORIENTATION AND NOTES.
10. FLOOR SURFACES OF CURB RAMPS SHALL BE DEEP GROOVED, 1/4" INCH WIDE BY 1/4" INCH DEEP, ONE (1) INCH CENTERS TRANSVERSE TO THE RAMP.
11. WHERE PROVIDED, STOP LINES SHALL BE LOCATED IN ADVANCE OF CURB RAMP.
12. WHERE PROVIDED, PEDESTRIAN ACTIVATED SIGNALS SHALL BE LOCATED ADJACENT TO THE SIDEWALK AND NOT ON THE SIDEWALK.
13. WHERE PROVIDED, DRAINAGE INLETS SHALL BE LOCATED UPSTREAM OF CURB RAMPS AND NOT IN THE RAMP AREA.
14. CURB RAMP TYPE AND LOCATION ARE PER PLAN



NOTES:

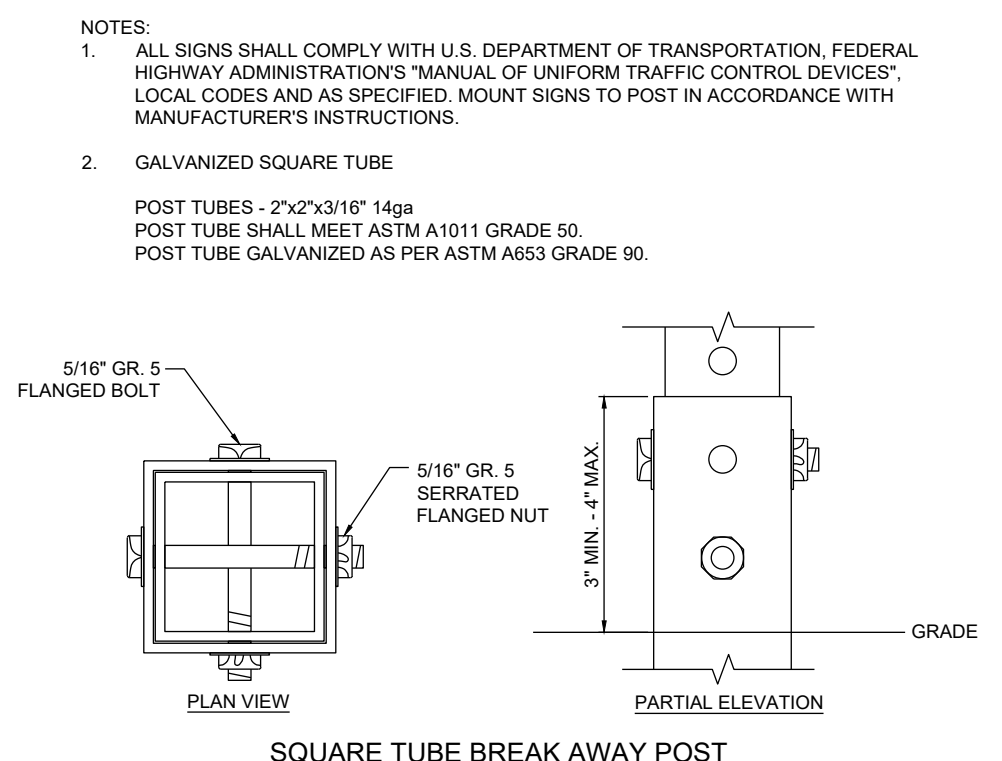
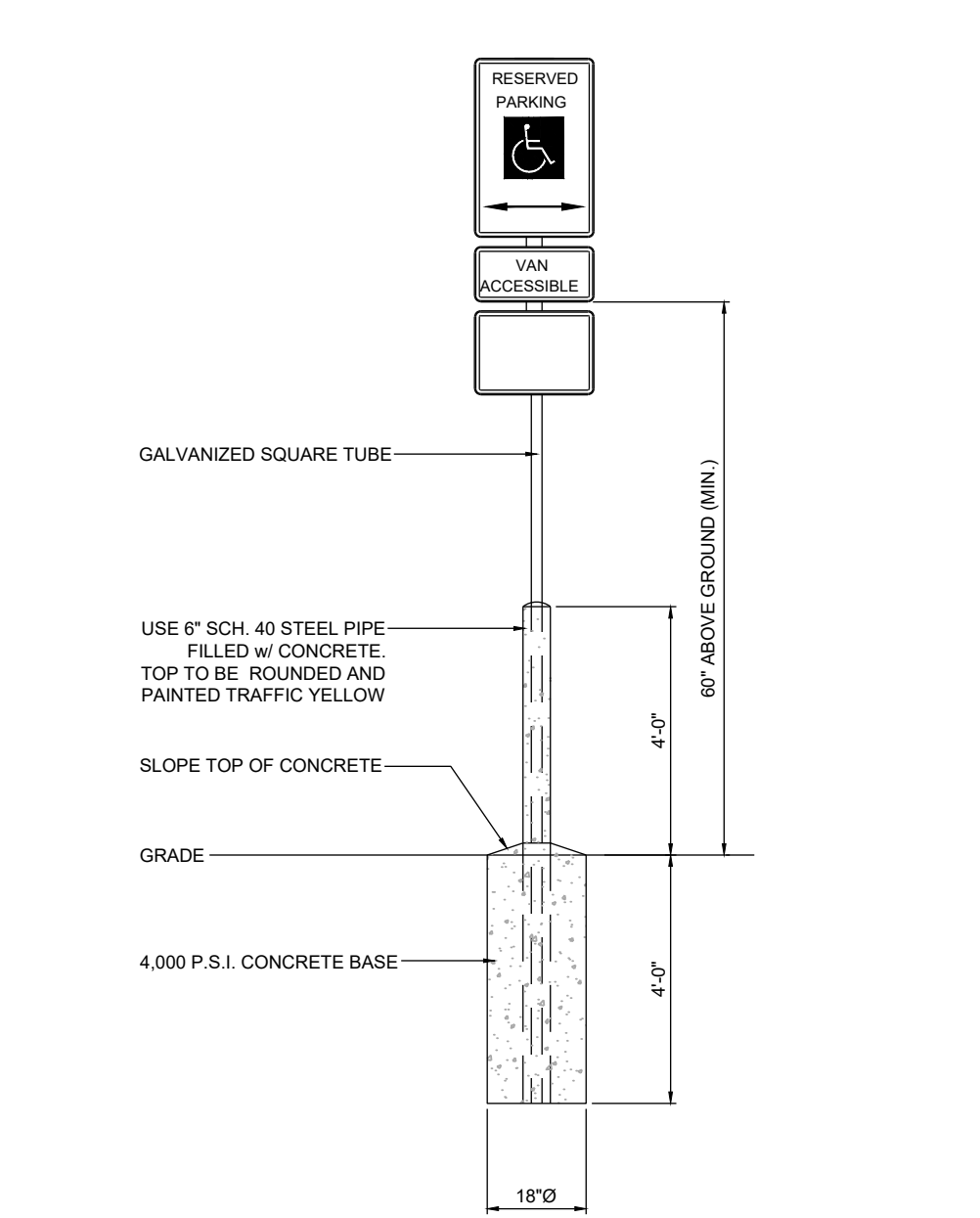
1. CURB RAMPS, PAVEMENT MARKINGS, & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ADA ACCESSIBILITY GUIDELINES.
2. CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
3. SLOPE, CROSS SLOPE OF ACCESSIBLE SPACES NOT TO EXCEED 2% IN ANY DIRECTION.
4. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
5. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE ASILE. THE ASILE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
6. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL, COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERRED THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
7. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
8. ACCESS AISLES SHALL EXCEED THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
9. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
10. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
11. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
12. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
13. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
14. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
15. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH THE APPROPRIATE SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, THE PENNSYLVANIA PARKING PENALTY SIGN AND VAN ACCESSIBLE SPACES SHALL HAVE SIGNAGE STATING "VAN ACCESSIBLE". SIGNS SHALL BE INSTALLED SO THAT THE BOTTOM OF SIGNS ARE MOUNTED NO LOWER THAN 60 INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE.

A3 ADA RAMP NOTES
NOT TO SCALE
2020-06-10 / ILEC STD

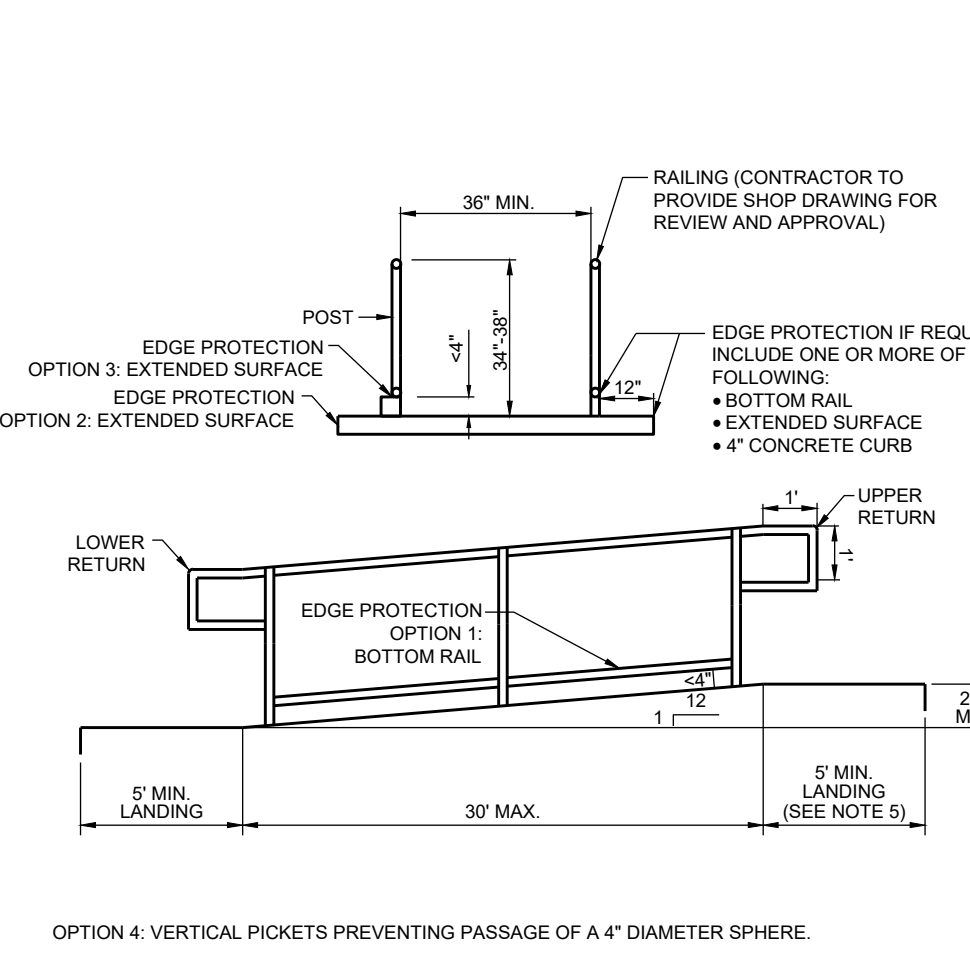
A4 ASPHALT PAVEMENT
NOT TO SCALE
2019-03-01 / ILEC STD

A5 ASPHALT PAVEMENT (BUTT JOINT)
NOT TO SCALE
2019-03-01 / ILEC STD

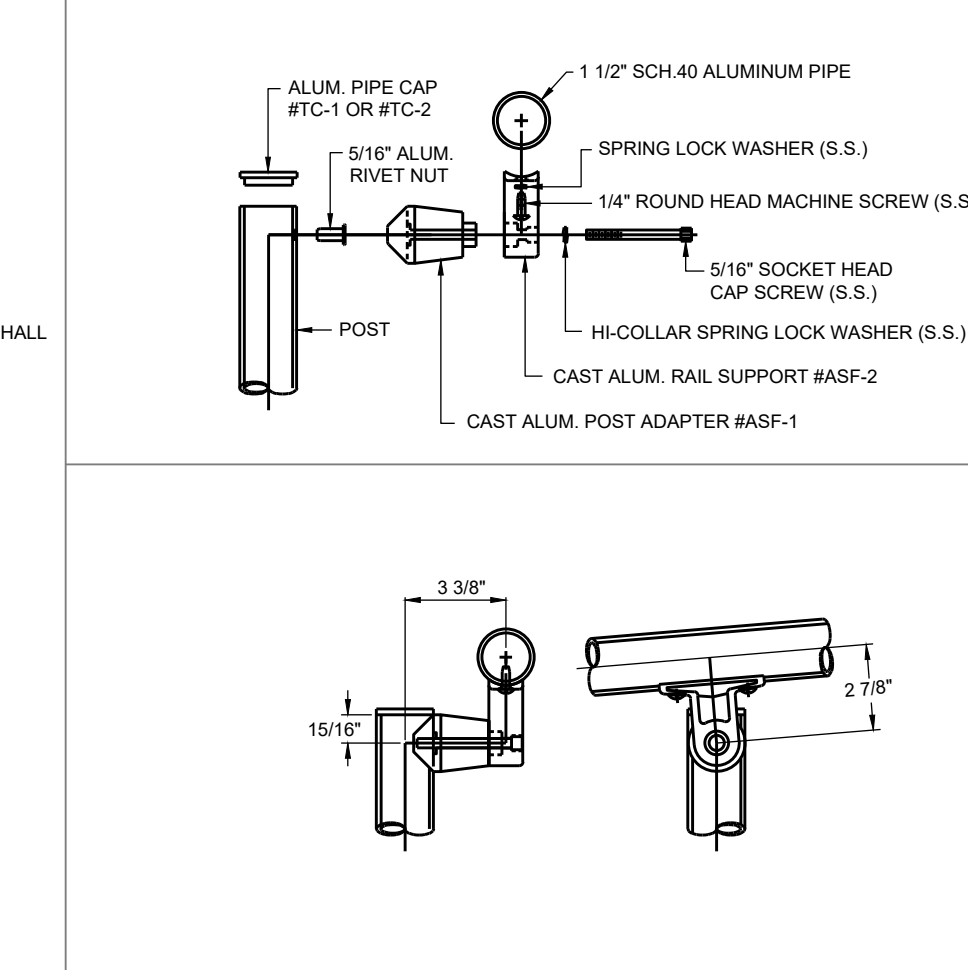
A6 ADA PARKING STALL NOTES
NOT TO SCALE
2020-06-10 / ILEC STD



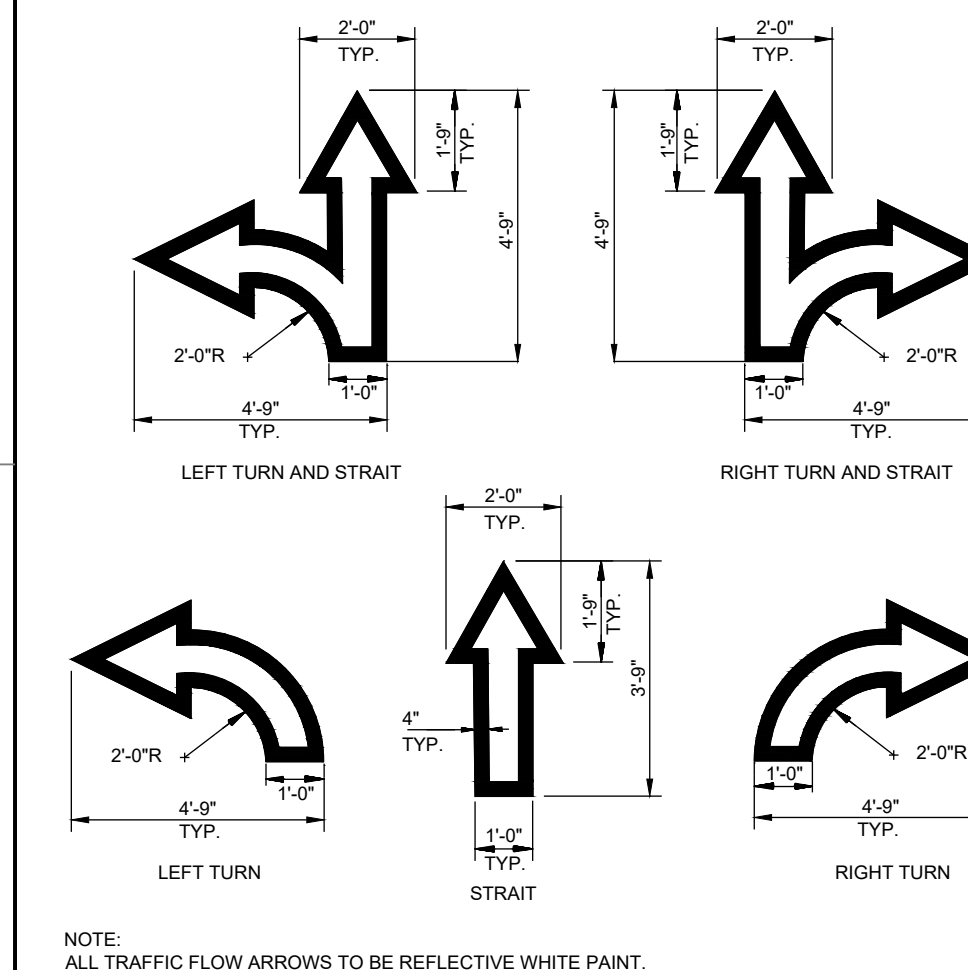
C2 BOLLARD MOUNTED SIGN POST
NOT TO SCALE
2019-03-01 / ILEC STD



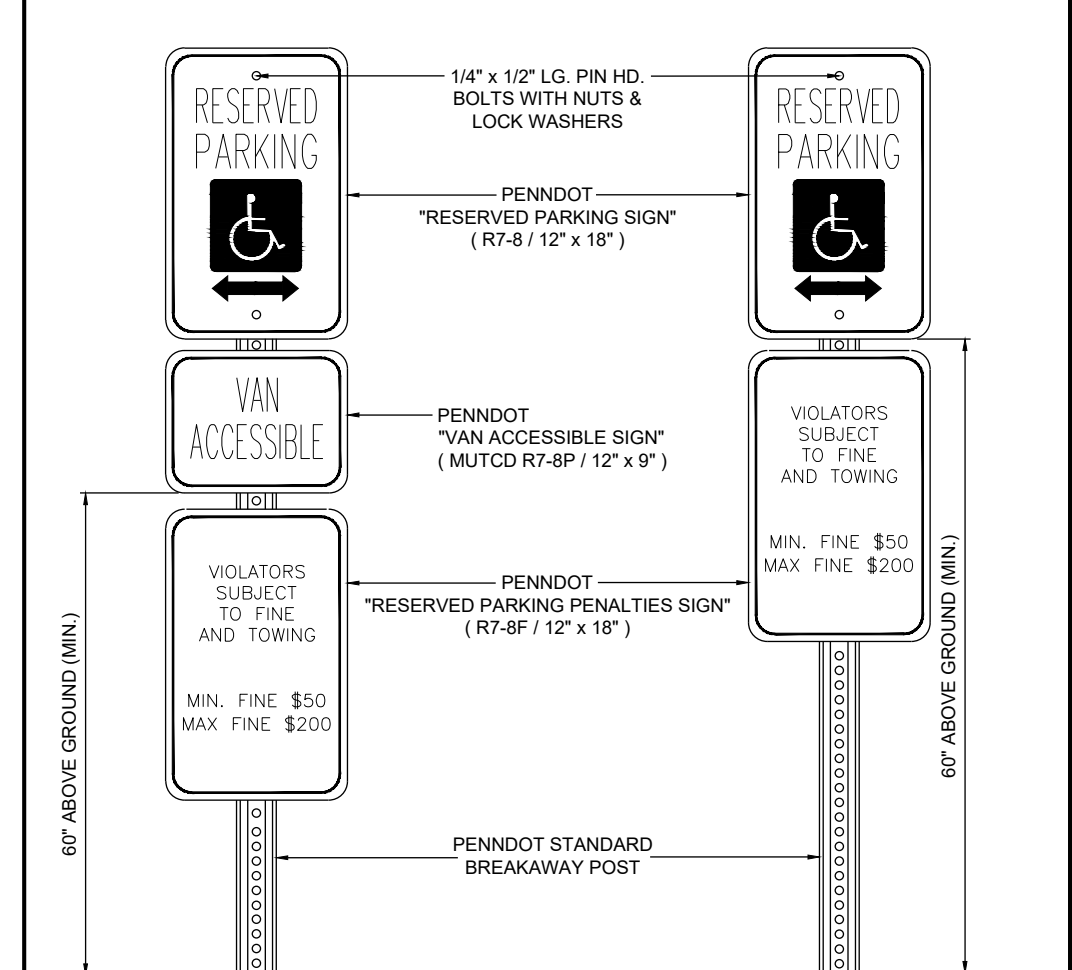
B3 ON-SITE GORE MARKING
NOT TO SCALE
2020-03-01 / ILEC STD



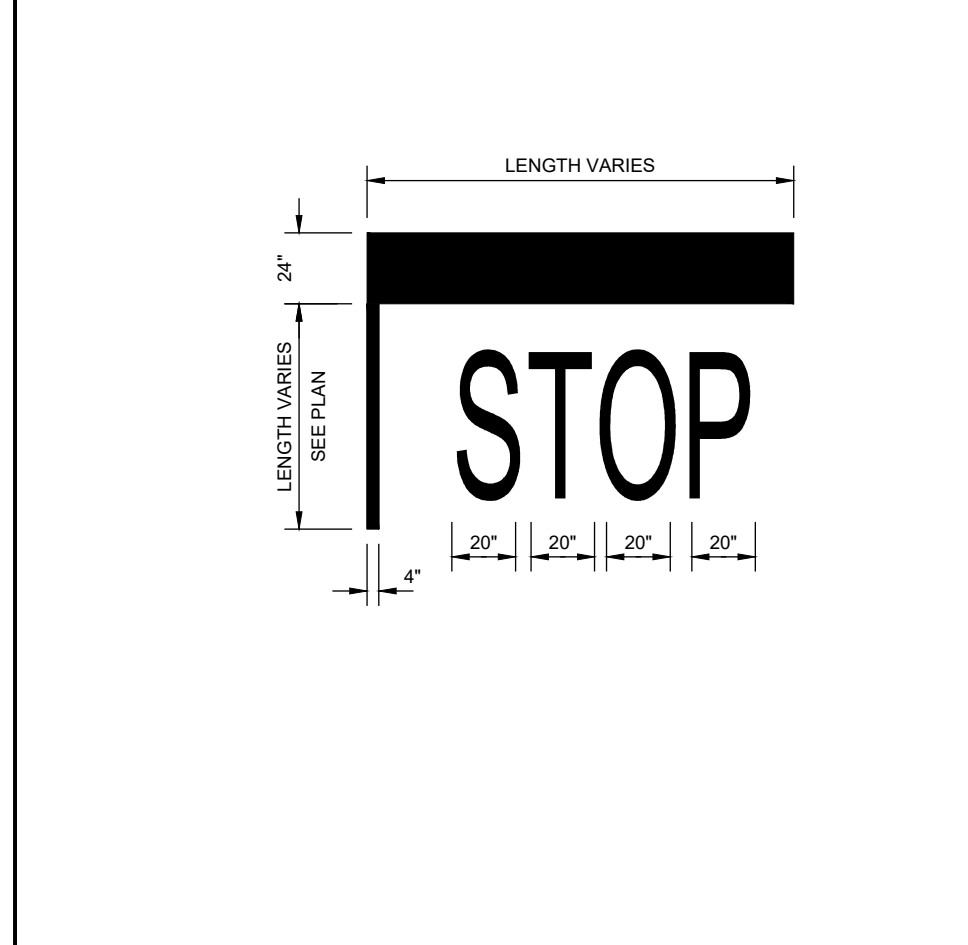
B5 TRAFFIC ARROWS
NOT TO SCALE
2019-03-01 / ILEC STD



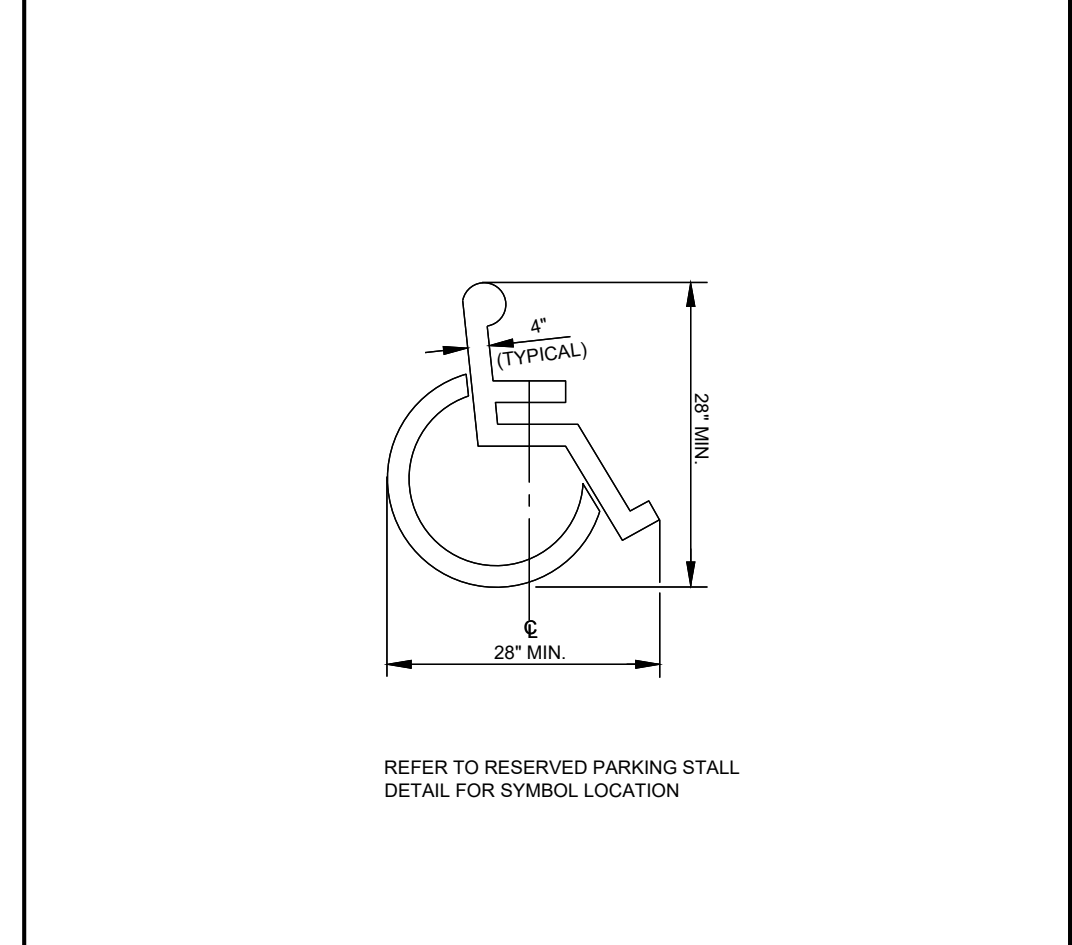
B6 RESERVED PARKING SIGN
NOT TO SCALE
2020-06-10 / ILEC STD



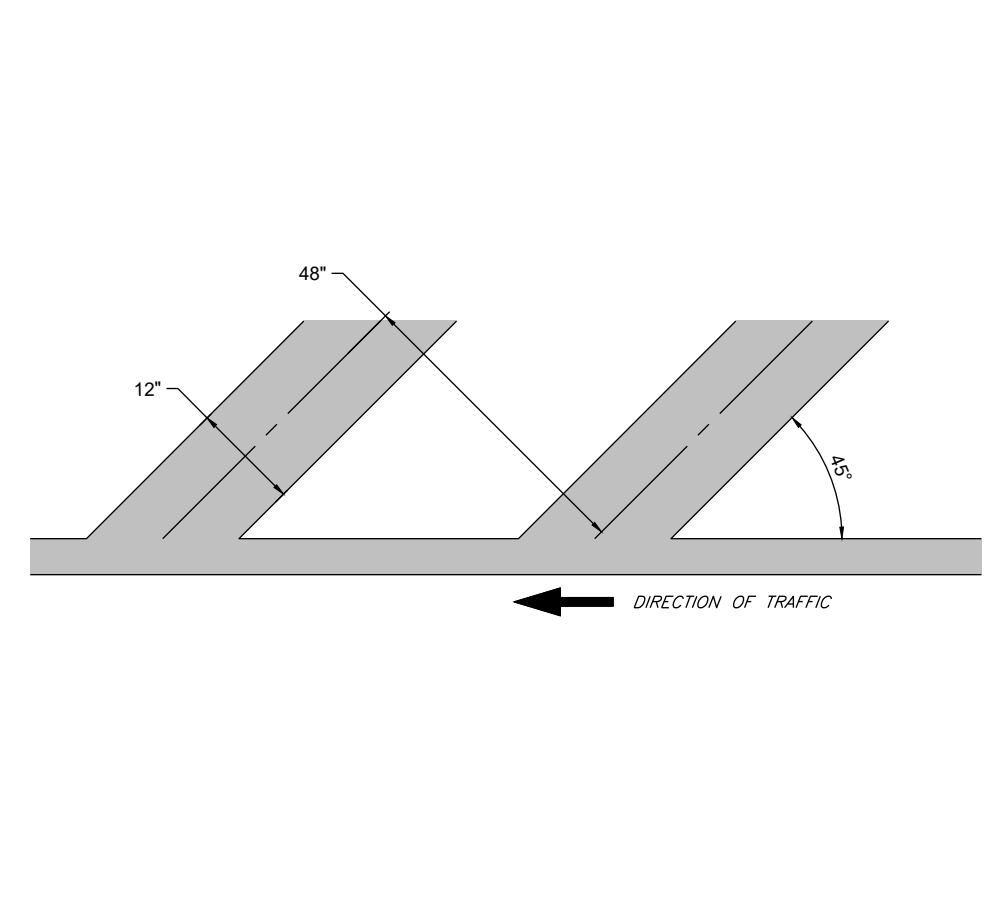
B5 STOP MARKING
NOT TO SCALE
2019-03-01 / ILEC STD



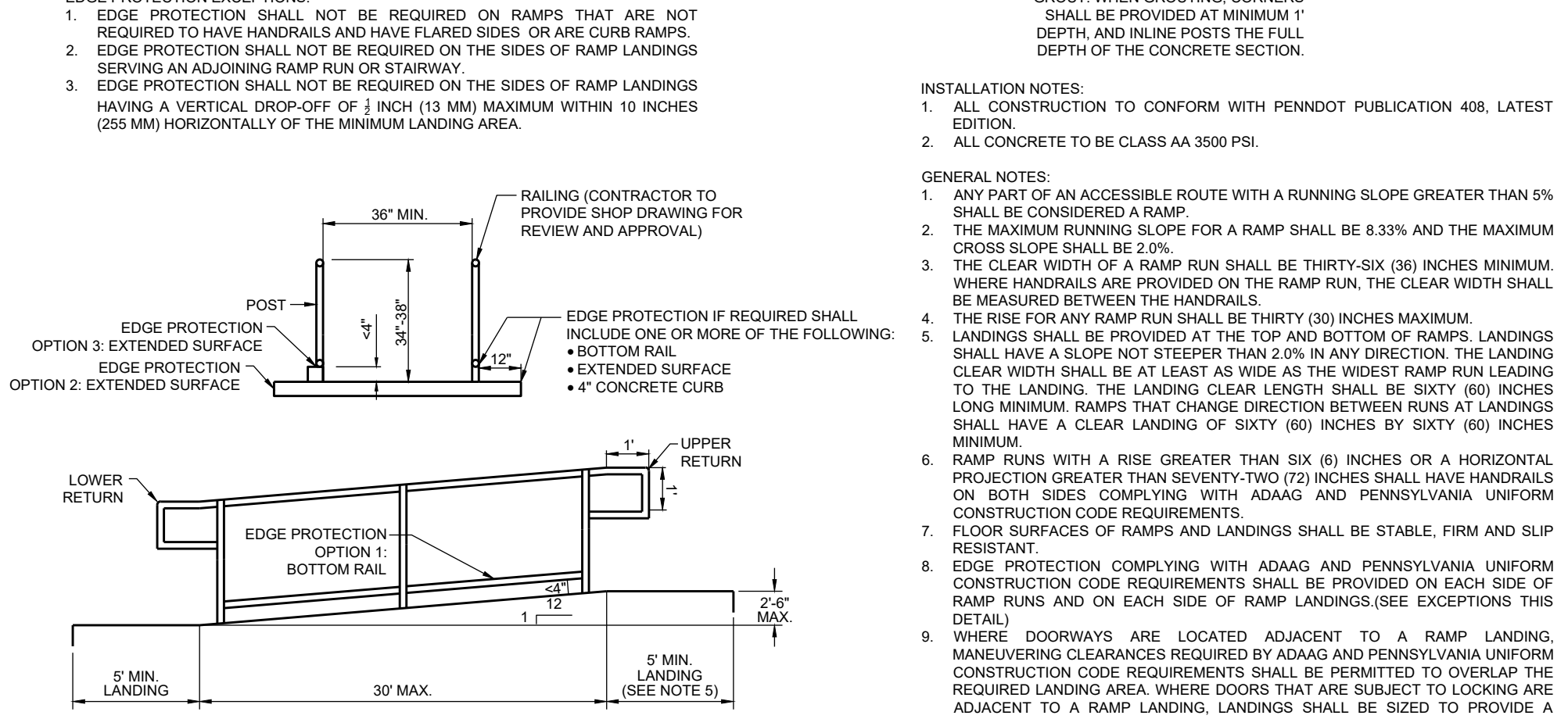
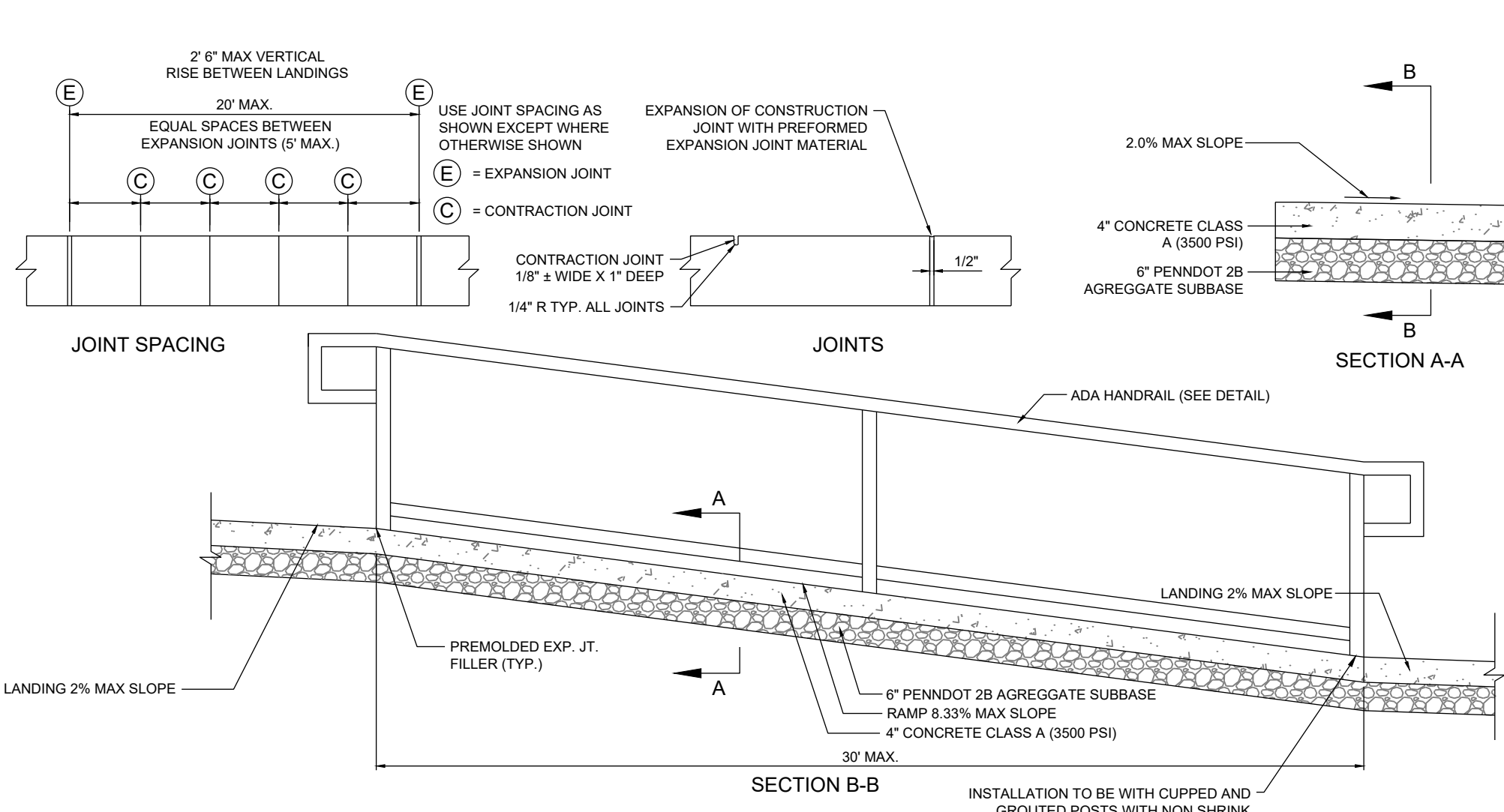
C5 STOP MARKING
NOT TO SCALE
2019-03-01 / ILEC STD



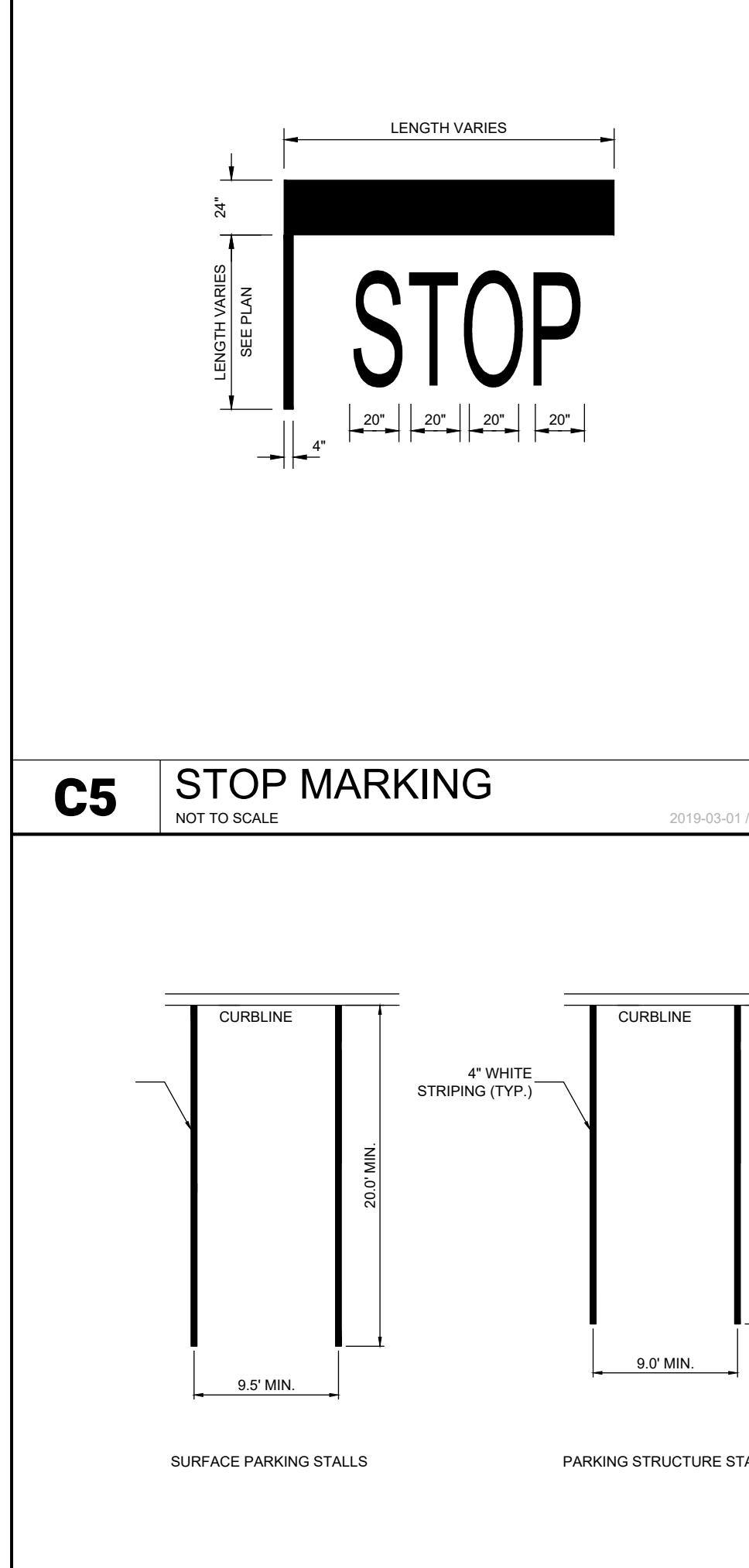
C6 ADA PARKING SYMBOL
NOT TO SCALE
2019-03-01 / ILEC STD



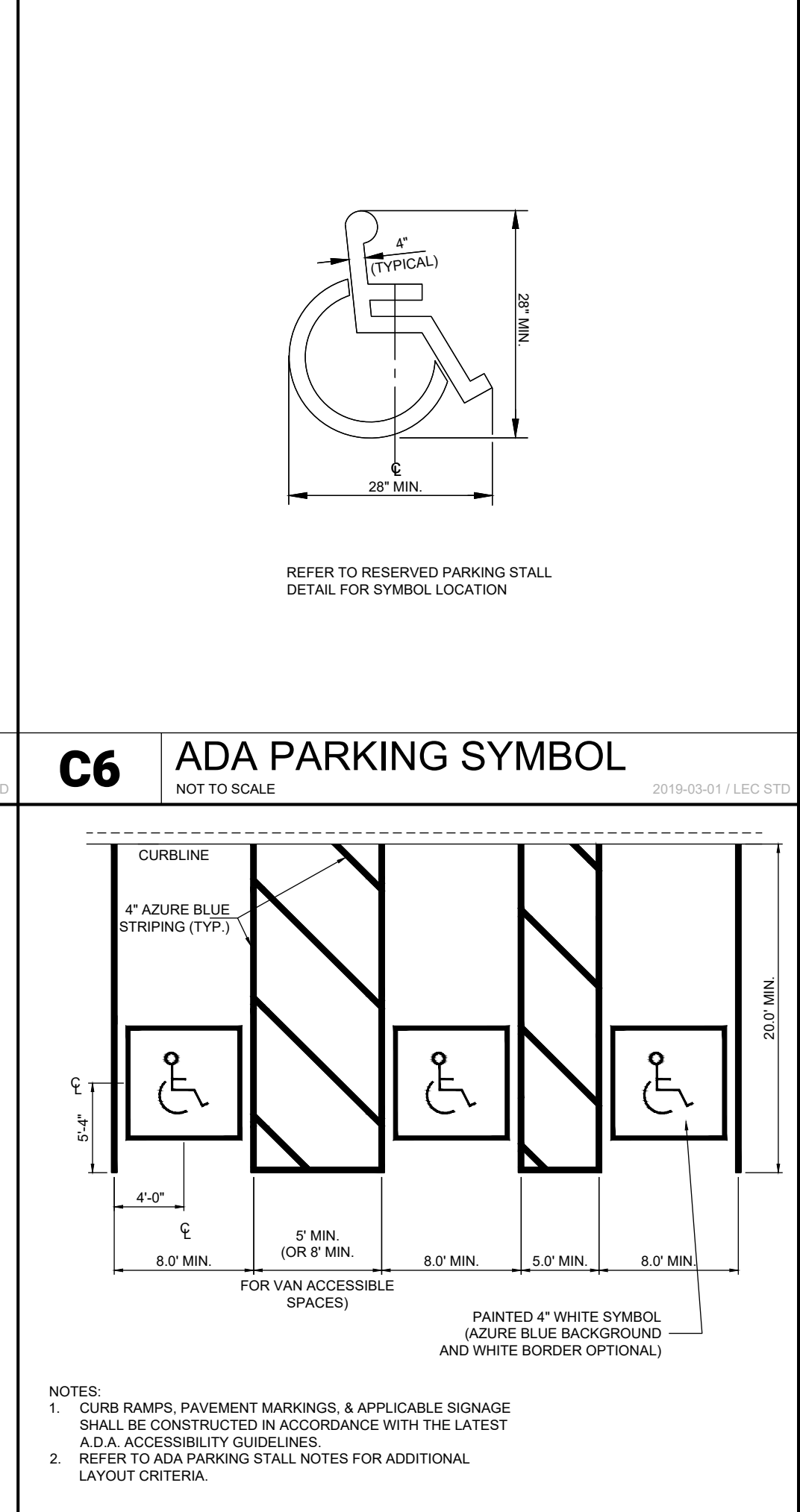
D2 ON-SITE GORE MARKING
NOT TO SCALE
2020-03-01 / ILEC STD



D3 ADA RAMP WITH HANDRAIL
NOT TO SCALE
2020-03-01 / ILEC STD



D5 PARKING STRIPING DETAIL
NOT TO SCALE
2020-03-01 / ILEC STD



D6 RESERVED PARKING STALL
NOT TO SCALE
2020-03-01 / ILEC STD

LANDCORE
PHONE 215-836-2510
LANDCORECONSULTING.COM

NOT FOR CONSTRUCTION

D. ALEXANDER TWEEDIE
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. 071873

REV.	DATE	REVISION	BY

PROJECT No. **220053**
FILE **CONSTRUCTION DETAILS**
DRAWN BY **J. JACOBS**
CHECKED BY **A. TWEEDIE**

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19038
PROJECT SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT **5 STAR VENTURE 1 LP.**

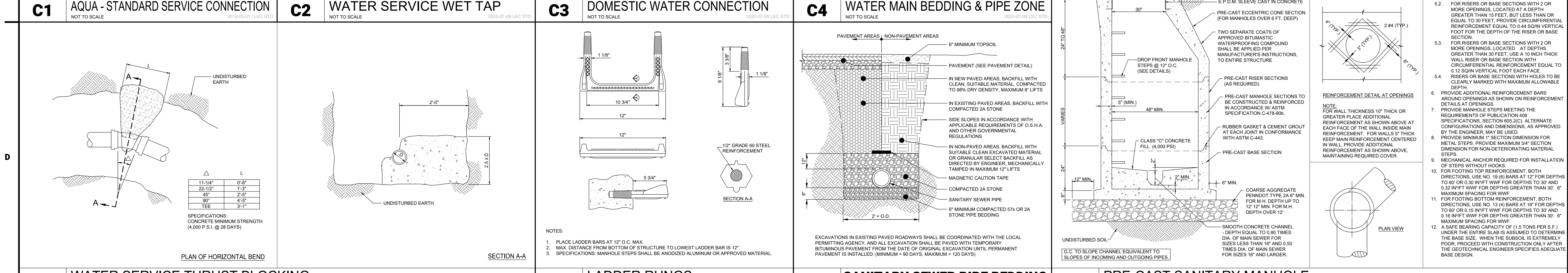
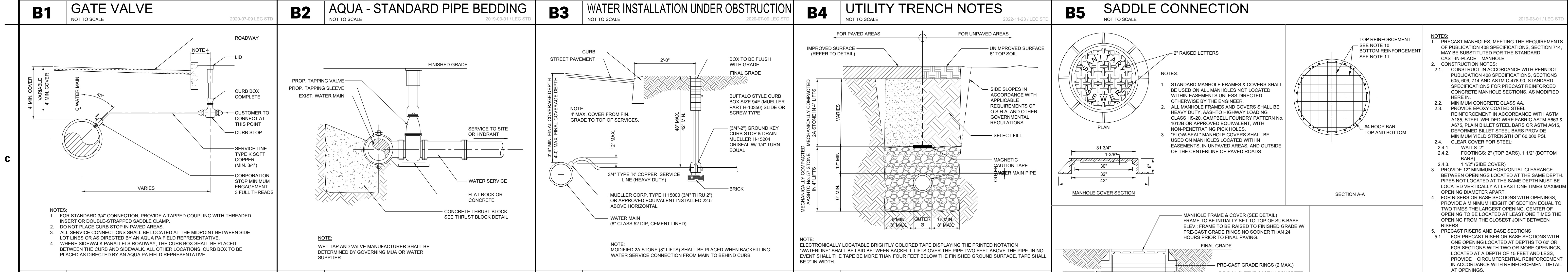
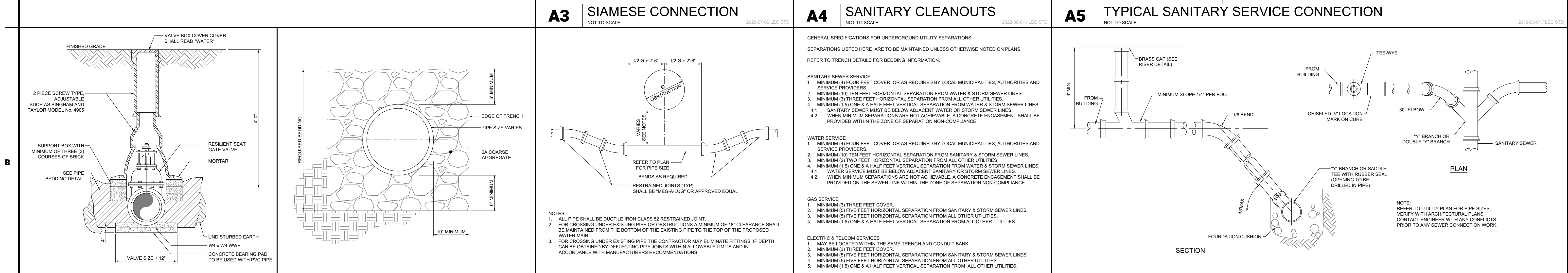
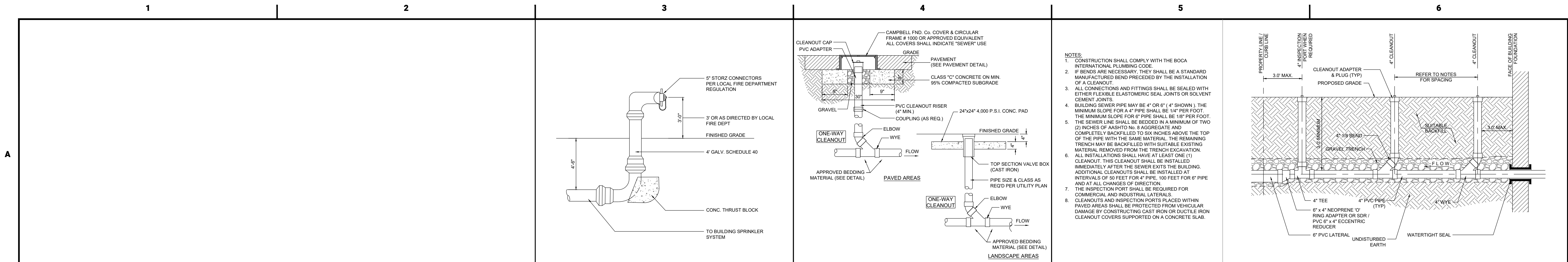
CONSTRUCTION DETAILS

TITLE

DATE **2023-02-28**

DT1 0

SHEET **08 OF 09** REV. No.



LANDCORE
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. 071873

D. ALEXANDER TWEEDIE
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. 071873

NOT FOR CONSTRUCTION

REV.	DATE	REVISION	BY

PROJECT No. **220053**
FILE **CONSTRUCTION DETAILS**
DRAWN BY **J. JACOBS**
CHECKED BY **A. TWEEDIE**

PROPOSED INDUSTRIAL REDEVELOPMENT
900 E. MERMAID LANE
WYNDMOOR, PA 19038
PROJECT SPRINGFIELD TWP, MONTGOMERY COUNTY, PA
APPLICANT **5 STAR VENTURE 1 LP.**

CONSTRUCTION DETAILS

TITLE _____
DATE **2023-02-28**
SHEET **09 OF 09** REV. No. _____