



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

COMMISSIONERS

James M. Lee
President

Baird M. Standish
Vice President

Peter D. Wilson
Michael E. Maxwell
Jonathan C. Cobb
Susanna O. Ratsavong
Brendan May

Public Notice

Planning Commission Meeting

LD-23-03

OFFICERS

A. Michael Taylor
Secretary-Manager

James J. Garrity
Solicitor

Joelle Kleinman
Treasurer / Tax Collector

Timothy P. Woodrow, PE
Engineer

This notice is sent to inform you the Springfield Township Planning Commission will hold a public meeting on Tuesday, June 6, 2023, with a 7:00 P.M. start time to discuss the Land Development Application submitted by **Mount Saint Joseph's Academy** for a proposed additions to 120 W. Wissahickon Avenue, Flourtown, PA 19031.

The Planning Commission will review the Land Development application of **Mount Saint Joseph Academy** for the property located at 120 W. Wissahickon Avenue, Flourtown, PA 19031. The applicant proposes to remove the existing bus drop-off & pick-up canopy and replace the structure in the same location. In addition, 1,005 square feet of enclosed inter-connective hallways and 2,550 square feet of new building is proposed to be added. These additions will provide a fully enclosed connection for two existing buildings within the complex. The proposed addition will provide additional common space and classrooms. This project did receive the Approval of the Springfield Township Zoning Hearing Board on March 27, 2023. The applicant requested and received approval to construct the proposed additions to the site without the need to provide additional on-site parking or install landscaped islands within the existing parking lots. The property is zoned within the Institutional District of Ward #1 of Springfield Township.

A copy of both application and plans have been posted on Springfield Township's website at www.springfieldmontco.org. If you have any questions pertaining to this meeting, please feel free to contact me directly at 215-836-7600, ext. 1114 or by email at mpenecale@springfieldmontco.org.

Sincerely,
Mark A. Penecale
Director of Planning & Zoning
Springfield Township



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

APPLICATION FOR LAND DEVELOPMENT APPROVAL

A Application is hereby made for approval by the Board of Commissioners of the attached Land Development Plan.

B Name of Land Development: Mount Saint Joseph's Academy - Building Connector - Phase 1

Location: Mount Saint Joseph's Academy -120 W Wissahickon Avenue, Springfield Township, Montgomery County, PA

C Name of Owner: CONVENT OF THE SISTERS OF ST JOSEPH

Address: 9701 Germantown Ave.

Philadelphia, PA 19118 2694

Phone #: (215) 233-3177

D Name of Applicant: CONVENT OF THE SISTERS OF ST JOSEPH
(contact: Sister Charlene Diorka)

Address: 9701 Germantown Ave.

Philadelphia, PA 19118 2694

Phone #: (215) 233-3177

E Name of Engineer, Surveyor, or Planner responsible for preparation of the plan

Nave Newell, Inc.

Address: 900 West Valley Road, Suite 1100, Wayne, PA 19087

F Existing Zoning Classification: Institutional

Total Acreage: 59.87 Ac. New Non-Res. Floor Area: 3,200 (sq. ft)

Sewerage: Public x Private _____
Water: Public x Private _____



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

Intended Land Use(s)	# of Lots	Units	Buildings
() Residential	_____	_____	_____
() Commercial	_____	_____	_____
() Industrial	_____	_____	_____
() Office	_____	_____	_____
(x) Other (Specify below)	_____	_____	_____

Institutional

G Does this application meet all the requirements of the existing Zoning Classification? () Yes (x) No (if no, attach a list of variances and/or special exceptions)

H Is the property subject to any encumbrances, deed restrictions, etc.? () Yes (x) No (if yes, attach a copy)

I List additional material submitted with this application

1. Final Land Development Plans for Mount Saint Joseph's Academy - Building Connector - Phase 1, Sheets 1-10 of 10, dated 3/30/23, by Nave Newell, Inc.
2. Post Construction Stormwater Management Report and Site Drainage Calculations, dated 3/30/23, by Nave Newell, Inc.
3. _____
4. _____
5. _____
6. _____

J Springfield Township Fee Schedule (non-refundable):

Checks should be made payable to "Springfield Township".

Land Development Fee Schedule

Use	Waiver Request/ Sketch Plan	Preliminary Plans	Final Plans
Residential	\$250	\$200 per D.U.	\$250 per D.U.
Nonresidential	\$250	\$500 + \$100 / acre	\$2,500 + \$150 / acre



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

K Escrow Fund

The escrow account shall be established based on the following calculations:

\$3,000.00 per acre or fraction thereof

Total Escrow Amount \$ 3,000

L Springfield Township Application Fees

Waiver or Sketch Plan Fee \$ _____

Preliminary Plan Fee \$ _____

Final Plan Fee \$ 2,650

Total \$ 2,650



Check # 75694

M Montgomery County Planning Commission Fee Schedule
Checks should be made payable to "Montgomery County Treasurer".

RESIDENTIAL LAND DEVELOPMENT

<u>Number of Lots or Units (whichever is greater)</u>	<u>General Fee + Fee Per Lot or Unit</u>
1 - 3	\$150 (flat fee)
4 - 20	\$180 + \$23 per unit
21 - 100	\$450 + \$21 per unit
101 +	\$1,060 + \$20 per unit

NON RESIDENTIAL LAND DEVELOPMENT AND CONVERSIONS

<u>Gross Square Feet of New Building</u>	<u>General Fee + Fee for every 1,000 gross sq. ft. (round to nearest whole dollar)</u>
1 - 3,000 sq. ft.	\$220 flat fee
3,001 - 25,000 sq. ft.	\$519 + \$27 for every 1,000 sq. ft.
25,001 - 50,000 sq. ft.	\$1,050 + \$23 for every 1,000 sq. ft.
50,001 - 100,000 sq. ft.	\$1,550 + \$20 for every 1,000 sq. ft.
100,000 + sq. ft.	\$2,580 + \$15 for every 1,000 sq. ft.

Total \$ _____ Check # _____



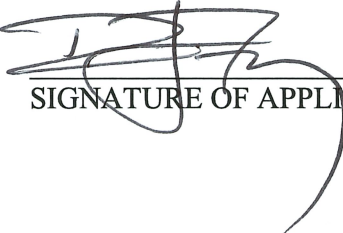
**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

N Signature

The undersigned represents that to the best of his/her knowledge and belief, all of the above statements are true, correct and complete.

In the event the applicant wishes to have the review by the Township discontinued, the applicant will notify the Township immediately, in writing, and processing of the review will be terminated upon receipt of such written notification to the Township, it being understood that all bills accrued to date of termination will be paid.

3/30/2029
DATE


SIGNATURE OF APPLICANT



**SPRINGFIELD TOWNSHIP
APPLICATION FOR
SUBDIVISION AND LAND DEVELOPMENT APPROVAL**

LAND DEVELOPMENT

The applicant must complete the Application for Land Development Approval to follow and submit it to the Office of Community Development with the following information:

- A. Six (6) sets of stapled and folded plans.
- B. Prevailing application fees must be paid to Springfield Township at the time of application. Only checks or money orders will be accepted by the Code Enforcement Department. All application fees are deposited into the general revenue.
- C. Prevailing application fees and a completed Request for Review by the Montgomery County Planning Commission. All checks must be made payable to the Montgomery County Treasurer and submitted to Springfield Township at the time of application (see MCPC review form and fee schedule).
- D. A professional services agreement with the requisite financial security must also be submitted at the time of application. The financial security may be established at a financial institution of the applicant's choice. **The Township will not accept cash or checks for escrow purposes.**
- E. Required Stormwater management calculations.
- F. Subdivision and Land Development checklist.

A copy of the plans will be forwarded to all Township review boards as required. Comments from the review boards are due to be submitted to the Manager's Office within 60 days of the date of the application.

The applicant has the ability to waive the 90-day review period. If additional time is required, the applicant may consider granting an extension. All extensions and waivers must be done in writing.

Once the Planning Commission and all other review boards have completed their reviews, the Board of Commissioner will act on the plan at its next public meeting. Unless waived or an extension is granted, a decision by the Board of Commissioners must be rendered within 90 days as per the Pennsylvania Municipalities Planning code (MPC).

**REFER TO CHAPTER 95 "SUBDIVISION OF LAND" FOR COMPLETE
APPLICATION MATERIALS AND PLAN REQUIREMENTS**



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Timothy P. Woodruff, PE
Engineer

Bernadette A. Kearney, Esq.
Hamburg, Rubin, Mullin, Maxwell & Lupin, PC
375 Morris Road
Lansdale, PA 19446

March 28, 2023

Re: Zoning Hearing Board Application #23-04 for the property located at 120 W. Wissahickon Avenue, Flourtown, PA 19031. Known as Parcel #5200-0157-3004 and Parcel #5200-0157-0007.

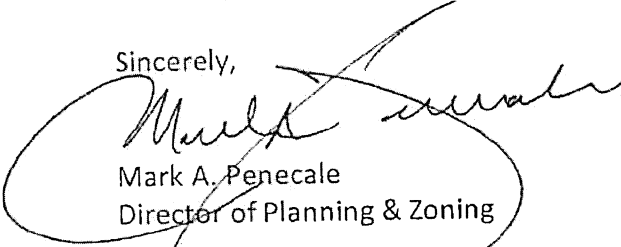
Dear Ms. Kearney,

This letter is sent to inform you that on Monday, March 27, 2023 the Springfield Township Zoning Hearing Board approved the variances requested by The Sisters of Saint Joseph from Section 114-131.A.(14), Section 114-134.B and 114-134.F.(1) of the Springfield Township Zoning Ordinance. This will allow The Sisters of Saint Joseph to proceed with the improvement project as depicted on the plans presented at the hearing.

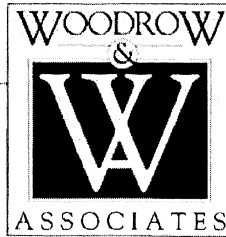
The approval of this application was based on the testimony and exhibits entered into the record for this application and with the condition that the proposed improvements are subject to Land Development approval. The approval of this application was unanimous.

If there are any questions that you may have, please feel free to contact me at 215-836-7600, ext. 1114.

Sincerely,


Mark A. Penecale
Director of Planning & Zoning

Cc: ZHB Members by way of email
ZHB Solicitor by way of email
Michael Taylor; Township Manager, Springfield Township



April 24, 2023

Mark Penecale, Planning Director
Springfield Township
1510 Paper Mill Road
Wyndmoor, PA 19038

Reference: Mount Saint Joseph Academy – Land Development Application Review

Dear Mark:

I am in receipt of a ten-sheet set of plans prepared by Nave Newell and Associates Engineers. The ten-sheet set of plans is dated March 30, 2023, and bears no revision date at this time. The plan describes Phase 1 of anticipated improvements at the high school. The application benefits from variances granted by our Zoning Hearing Board for strict compliance with off-street parking requirements as well as strict compliance with perimeter screen buffers. The school campus occupies approximately 77 acres of land and has frontage on both West Wissahickon Avenue and Stenton Avenue (Pa Route 3003.)

The project entails enclosing an existing covered walkway that is providing a physical connection between two wings of the building. In addition, two classroom spaces are proposed to be constructed adjacent to the connector hallway. Approximately 3,800 square feet of new enclosed space will result. Also, an increase of approximately 3,800 square feet of new impervious surface occurs once new walkways and pedestrian connections are added and existing impervious cover is deducted.

My further review the application is as follows:

Approvals/Permit/Reviews – Given the limited scope of the application, the only entity needing to approve the application is the Springfield Township Board of Commissioners. However, should an obligation for roadway improvements be required, PennDOT Highway Occupancy Permits would also need to be secured.

Zoning Ordinance Review:

1. Armed with the recent zoning hearing board decision, the plan appears to be compliant with Springfield Township's Zoning Ordinance Requirements.

Subdivision Land Developer and Ordinance Review:

1. Section 95-7.A – A complete property survey must be included with the application. This project bears great similarity to LaSalle High School's "David Building" addition. At that time, the Township worked with the LaSalle to explain the benefit of an overall property survey. The survey is meant to memorialize all the improvements that exist on the property. The document can then be utilized for future accountings of new impervious surfaces, utility construction

April 24, 2023

Mark Penecale, Planning Director

Springfield Township

Reference: Mount Saint Joseph Academy – Land Development Application Review

- improvements and serve as a tool, not only for the community, but also for the school as a document for future planning. The task would require an assemblage of the plans that were utilized for the areas of campus improvements over the years including the parking lot renovations, the turf fields, as well as the courtyard improvements outside the cafeteria. The submission of the document was not required for building permit; in the alternative, a promissory submission was set for a date certain.
2. Section 95-7.H – A landscaping plan is required for the application. Specifically with this design, a more detailed description of the plant material to be utilized in the bottom of the proposed rain garden is required.
 3. Section 95-7.I – Traffic Management Studies – This ordinance citation requires that a traffic management study be provided for all major land developments. In order to determine the magnitude of traffic impacts, the school should submit a written description of the proposed use of the new classrooms. For example, will the student population be increasing? Will additional buses or student vehicles be anticipated as a result of this work?
 4. Section 95-10.A – All land developments are required to acknowledge the Township's road design standards. In this instance, a 60-foot-wide ultimate right-of-way, a 30-foot-wide cartway, as well as curbs and sidewalks are required. Should the applicant seek waiver of these requirements, a conversation regarding a trail running along West Wissahickon Avenue connecting into existing pedestrian improvements must be vetted.
 5. Section 95-11.E(2)(b) – Land suitable for Parks and Recreation use must be offered to Springfield Township. The amount of land to be offered for dedication for park and recreational areas in nonresidential subdivisions or land developments shall be 3,000 square feet per 4,000 square feet of building area. This application would require 3,000 square feet of open space.
 6. Section 95-11.E(8) – This code citation offers an ability for the applicant to provide a fee in lieu of dedication of open space.
 7. Section 95-11.F – Right-of-way – A right-of-way of not less than 40-feet-wide shall be provided along all natural watercourses, where required by the board, in order to enable the Township to construct and maintain sanitary and storm sewer systems. This code requirement would be quieted by the preparation of the overall survey plan described in Comment No. 1 above.
 8. Section 95-11.H(1) – This code citation echoes Comment No. 1 above. A complete outline and survey of the property to be developed and the final placement of all street control survey monuments shall be provided, showing all bearings, distances, and ties to all adjacent intersections. The survey shall not have an order of closure greater than one part in 10,000.
 9. Section 95-11.I(2) – Street trees are required with all land developments and shall be planted along all existing streets.
 10. Section 88-8 – Stormwater Management – I would like to thank the applicant's engineer for his initiative in reaching out early to the Township staff to discuss stormwater management. The adverse impacts of stormwater runoff resulting from new development as well as the legacy issues of stormwater runoff from impervious surfaces that were created prior to stormwater

April 24, 2023

Mark Penecale, Planning Director

Springfield Township

Reference: Mount Saint Joseph Academy – Land Development Application Review

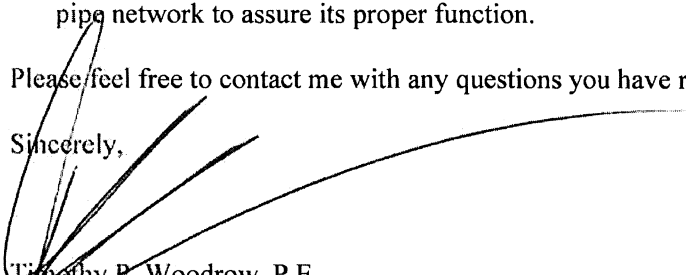
management regulations, have become one of the most critical aspects of land development review. Pursuant to our conversations, the engineers have been able to capture rooftop runoff from existing structures as well as runoff from the proposed addition and route that runoff through a new stormwater management facility. The rain garden, being constructed in compliance with local state and federal regulations, will serve not only to make an incremental improvement to the Wissahickon Watershed, but also serve as an educational opportunity for the school.

General Design Comments:

1. The stormwater management and collection system proposed for the project relies upon original schooling structure. It would be prudent for the school to video inspect the existing pipe network to assure its proper function.

Please feel free to contact me with any questions you have regarding the review of this plan.

Sincerely,



Timothy P. Woodrow, P.E.
Township Engineer
Woodrow & Associates, Inc.

TPW/del

Cc: A. Michael Taylor, Township Manager – Springfield Township
James J. Garrity, Esq., Wisler Pearlstine, LLP. – Township Solicitor
Andrew R. Freimuth, Esq. – Wisler Pearlstine, LLP
Timothy Brennan, P.E. – Nave Newell, Inc.
Sister Charlene Diorka, President – Mountain Joe Academy

**MONTGOMERY COUNTY
BOARD OF COMMISSIONERS**

KENNETH E. LAWRENCE, JR., CHAIR
JAMILA H. WINDER, VICE CHAIR
JOSEPH C. GALE, COMMISSIONER



**MONTGOMERY COUNTY
PLANNING COMMISSION**

MONTGOMERY COUNTY COURTHOUSE • PO Box 311
NORRISTOWN, PA 19404-0311
610-278-3722 • FAX: 610-278-3941
WWW.MONTCOPA.ORG

SCOTT FRANCE, AICP
EXECUTIVE DIRECTOR

April 26, 2023

Mr. Mark Penecale, Director of Planning & Zoning
Springfield Township
1510 Paper Mill Road
Wyndmoor, Pennsylvania 19038

Re: MCPC #23-0066-001
Plan Name: Mount St. Joseph's Academy Addition
(3,304 ft² institutional/2 lots comprising 77.07 acres)
Situates: West Wissahickon Ave (W), Stenton Ave (N)
Springfield Township

Dear Mr. Penecale:

We have reviewed the above-referenced land development in accordance with Section 502 of Act 247, "The Pennsylvania Municipalities Planning Code," as you requested on April 6, 2023. We forward this letter as a report of our review.

BACKGROUND

The applicant, Sisters of Saint Joseph, has submitted final land development plans for the construction of two classrooms, a hallway, and two 'huddle' areas comprising a total of 3,304 square feet in the I Institutional District. The tract under discussion is located on the intersection of Stenton and West Wissahickon Avenues, both of which are state roadways. The applicant proposes to remove an existing covered walkway comprising approximately 1,500 ft², two bird baths, and three existing trees.

Additional improvements shown at this time include additional pedestrian paths surrounding the proposed classrooms and a rain garden for stormwater management.

The applicant has received variances from the Zoning Hearing Board to allow the development of the proposed classrooms without additional parking or additional buffering of the existing parking areas. The applicant has requested one waiver from provisions of the Subdivision and Land Development Ordinance.

RECOMMENDATION

The Montgomery County Planning Commission (MCPC) generally supports the applicant's proposal, however, in the course of our review we have identified the following issues that the applicant and township may wish to consider prior to final plan approval. Our comments are as follows:

REVIEW COMMENTS

SUBDIVISION AND LAND DEVELOPMENT COMPLIANCE

- A. Replacement of trees. Section 95-11(11)(c) requires the replacement of trees over three inches in caliper which are removed due to proximity to proposed structures. The replacement is required to be conducted at a rate of two new trees for each tree removed. The applicant should show the required replacement trees on the submitted land development plan, provide a fee-in-lieu of the required replacement trees, or request a waiver from §95-11(11)(c).
- B. Landscaping Plan. Section 95-7(H) requires that a landscaping plan be included among preliminary and final plans for all land developments. Given that the applicant proposes installation of a rain garden with amended planting soil, we recommend that the applicant submit a landscaping plan showing the species for planting in the rain garden or clarify that the rain garden will be planted with grass.

PLAN CONTENTS

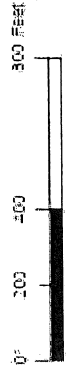
The zoning compliance chart on page C1.0 shows proposed impervious coverage as 19.10% by percentage, while the proposed impervious coverage is shown as 14.72 acres by acreage, or 19.51% coverage. The applicant should revise the compliance chart to address this discrepancy.

CONCLUSION

We wish to reiterate that MCPC generally supports the applicant's proposal but we believe that our suggested revisions will better achieve the township planning objectives for institutional development.

Please note that the review comments and recommendations contained in this report are advisory to the municipality and final disposition for the approval of any proposal will be made by the municipality.

Should the governing body approve a final plat of this proposal, the applicant must present the plan to our office for seal and signature prior to recording with the Recorder of Deeds office. A paper copy bearing the municipal seal and signature of approval must be supplied for our files.



Montgomery
County
Planning
Commission
County Executive's Office
100 North Rock Creek Road
Columbia, Maryland 21046
www.montgomeryplanning.com
944.0000 ext. 2200

Mount St. Joseph's Academy Addition
MCPC#13-0066001

Please print the assigned MCPC number (#23-0066-001) on any plans submitted for final recording.

Sincerely,

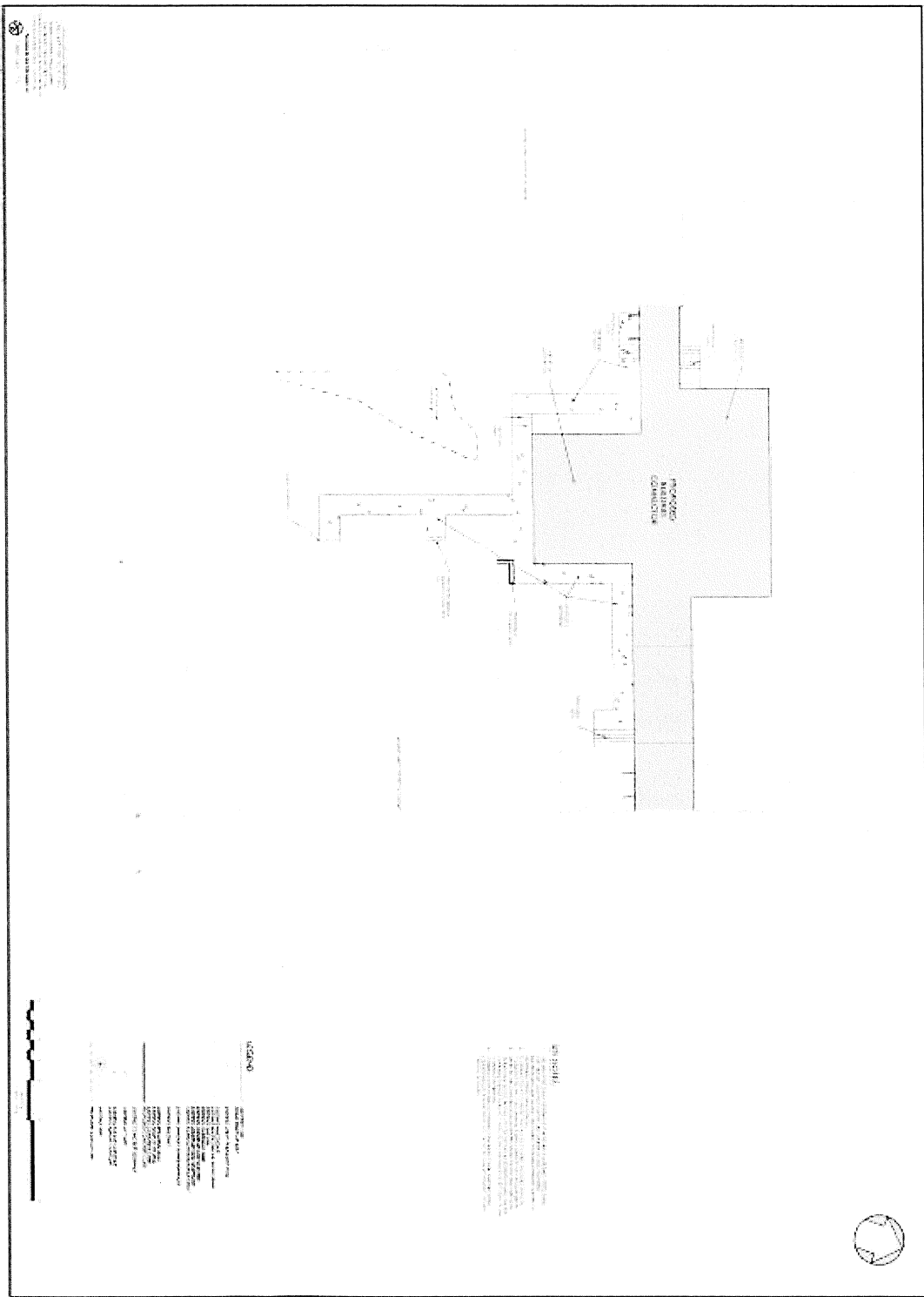
A handwritten signature in black ink, appearing to read "Anne Nygard".



Anne Nygard, Community Planner II
anne.nygard@montgomerycountypa.gov – 610-278-3887

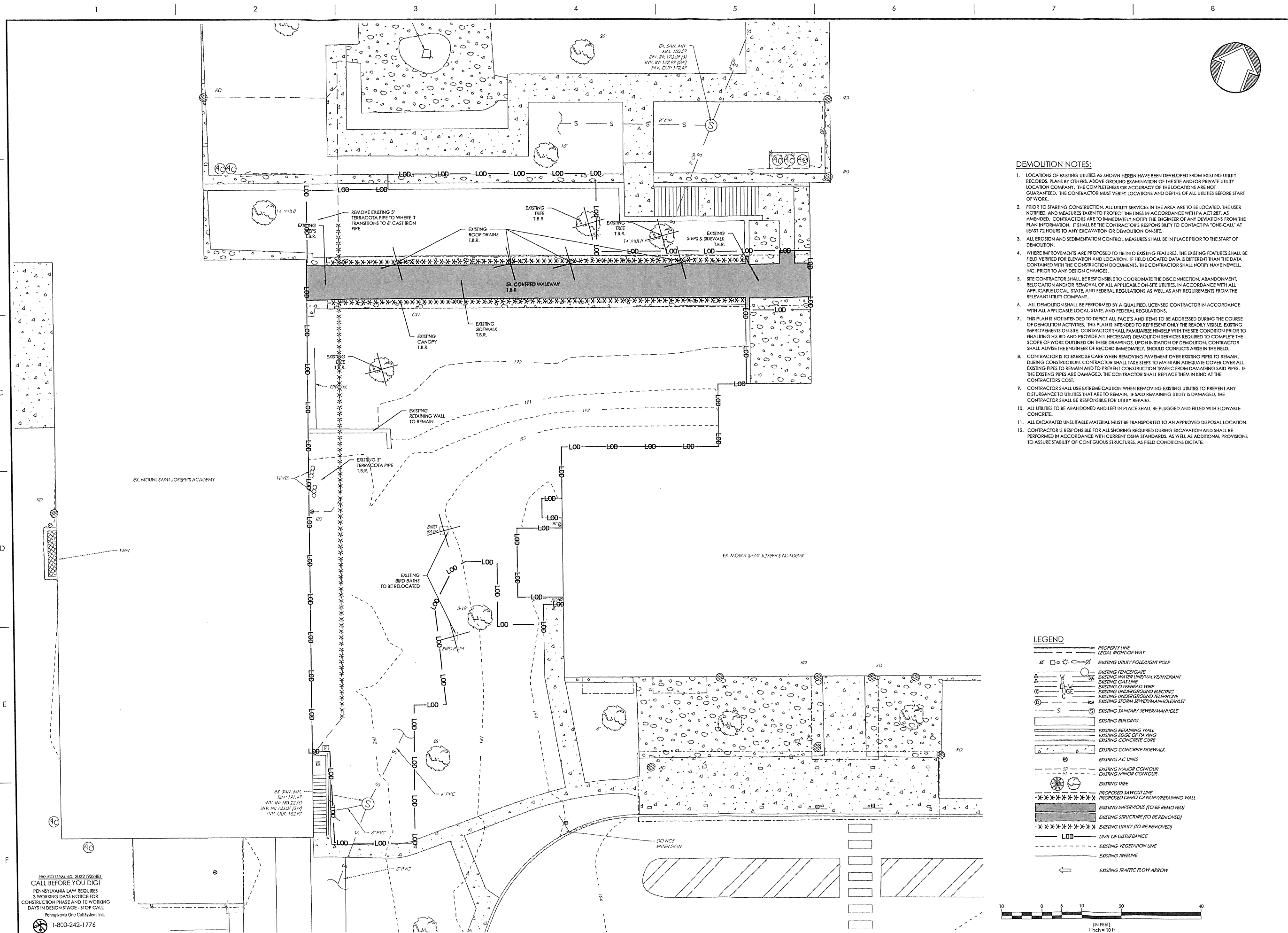
c: Sisters of Saint Joseph, Applicant
Nave Newell, Applicant's Representative
A. Michael Taylor, Springfield Township Manager
Amanda Helwig, Chair, Springfield Township Planning Commission

Attachment A: Aerial Image of Site

Attachment B: Reduced Copy of Applicant's Proposed Site Plan



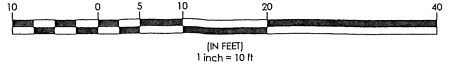
C3.0	SITE PLAN	 FRANCIS B. SHERIDAN GOVERNOR MONTGOMERY COUNTY, MARYLAND	<table border="1"><thead><tr><th>NO.</th><th>REVISION</th></tr></thead><tbody><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></tbody></table>	NO.	REVISION								
	NO.			REVISION									
MOUNT SAINT JOSEPH'S ACADEMY BUILDING CONNECTOR PHASE 1		 Nave NEWELL ARCHITECTS 10000 FARMERS ROAD FARMERSVILLE, VA 22434 703.444.1111											



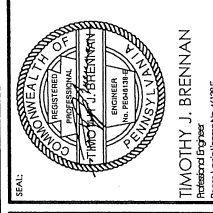
- DEMOLITION NOTES:**
1. LOCATIONS OF EXISTING UTILITIES AS SHOWN HEREIN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS. PLANS BY OTHERS, ABOVE GROUND EXAMINATION OF THE SITE AND/OR PRIVATE UTILITY LOCATION COMPANY, THE COMPLETENESS OR ACCURACY OF THE LOCATIONS ARE NOT GUARANTEED. THE CONTRACTOR MUST VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES BEFORE START OF WORK.
 2. PRIOR TO STARTING CONSTRUCTION, ALL UTILITY SERVICES IN THE AREA ARE TO BE LOCATED, THE USER NOTIFIED, AND MEASURES TAKEN TO PROTECT THE LINES IN ACCORDANCE WITH PA ACT 287, AS AMENDED. CONTRACTORS ARE TO IMMEDIATELY NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THE PLAN INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT PA "ONE-CALL" AT LEAST 72 HOURS TO ANY EXCAVATION OR DEMOLITION ON-SITE.
 3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.
 4. WHERE IMPROVEMENTS ARE PROPOSED TO TIE INTO EXISTING FEATURES, THE EXISTING FEATURES SHALL BE FIELD VERIFIED FOR ELEVATION AND LOCATION. IF FIELD LOCATED DATA IS DIFFERENT THAN THE DATA CONTAINED WITH THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY HAVE NEWELL, INC. PRIOR TO ANY DESIGN CHANGES.
 5. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE DISCONNECTION, ABANDONMENT, RELOCATION AND/OR REMOVAL OF ALL APPLICABLE ON-SITE UTILITIES, IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AS WELL AS ANY REQUIREMENTS FROM THE RELEVANT UTILITY COMPANY.
 6. ALL DEMOLITION SHALL BE PERFORMED BY A QUALIFIED, LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
 7. THIS PLAN IS NOT INTENDED TO DEPICT ALL FACETS AND ITEMS TO BE ADDRESSED DURING THE COURSE OF DEMOLITION ACTIVITIES. THIS PLAN IS INTENDED TO REPRESENT ONLY THE READILY VISIBLE, EXISTING IMPROVEMENTS ON-SITE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITION PRIOR TO FINALIZING HIS BID AND PROVIDE ALL NECESSARY DEMOLITION SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK OUTLINED ON THESE DRAWINGS. UPON INITIATION OF DEMOLITION, CONTRACTOR SHALL ADVISE THE ENGINEER OF RECORD IMMEDIATELY, SHOULD CONFLICTS ARISE IN THE FIELD.
 8. CONTRACTOR IS TO EXERCISE CARE WHEN REMOVING PAVEMENT OVER EXISTING PIPES TO REMAIN. DURING CONSTRUCTION, CONTRACTOR SHALL TAKE STEPS TO MAINTAIN ADEQUATE COVER OVER ALL EXISTING PIPES TO REMAIN AND TO PREVENT CONSTRUCTION TRAFFIC FROM DAMAGING SAID PIPES. IF THE EXISTING PIPES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM IN KIND AT THE CONTRACTOR'S COST.
 9. CONTRACTOR SHALL USE EXTREME CAUTION WHEN REMOVING EXISTING UTILITIES TO PREVENT ANY DISTURBANCE TO UTILITIES THAT ARE TO REMAIN. IF SAID REMAINING UTILITY IS DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY REPAIRS.
 10. ALL UTILITIES TO BE ABANDONED AND LEFT IN PLACE SHALL BE PLUGGED AND FILLED WITH FLOWABLE CONCRETE.
 11. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 12. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

LEGEND

	PROPERTY LINE
	LEGAL RIGHT-OF-WAY
	EXISTING UTILITY POLE/LIGHT POLE
	EXISTING FENCE/GATE
	EXISTING WATER LINE/VALVE/HYDRANT
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING STORM SEWER/MANHOLE/INLET
	EXISTING SANITARY SEWER/MANHOLE
	EXISTING BUILDING
	EXISTING RETAINING WALL
	EXISTING EDGE OF PAVING
	EXISTING CONCRETE CURB
	EXISTING CONCRETE SIDEWALK
	EXISTING AC UNITS
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING TREE
	PROPOSED SAWCUT LINE
	PROPOSED DEMO CANOPY/RETAINING WALL
	EXISTING IMPERVIOUS (TO BE REMOVED)
	EXISTING STRUCTURE (TO BE REMOVED)
	EXISTING UTILITY (TO BE REMOVED)
	LIMIT OF DISTURBANCE
	EXISTING VEGETATION LINE
	EXISTING TREELINE
	EXISTING TRAFFIC FLOW ARROW



NO.	DESCRIPTION	DATE	BY



DEMOLITION PLAN

MOUNT SAINT JOSEPH'S ACADEMY BUILDING CONNECTOR PHASE 1

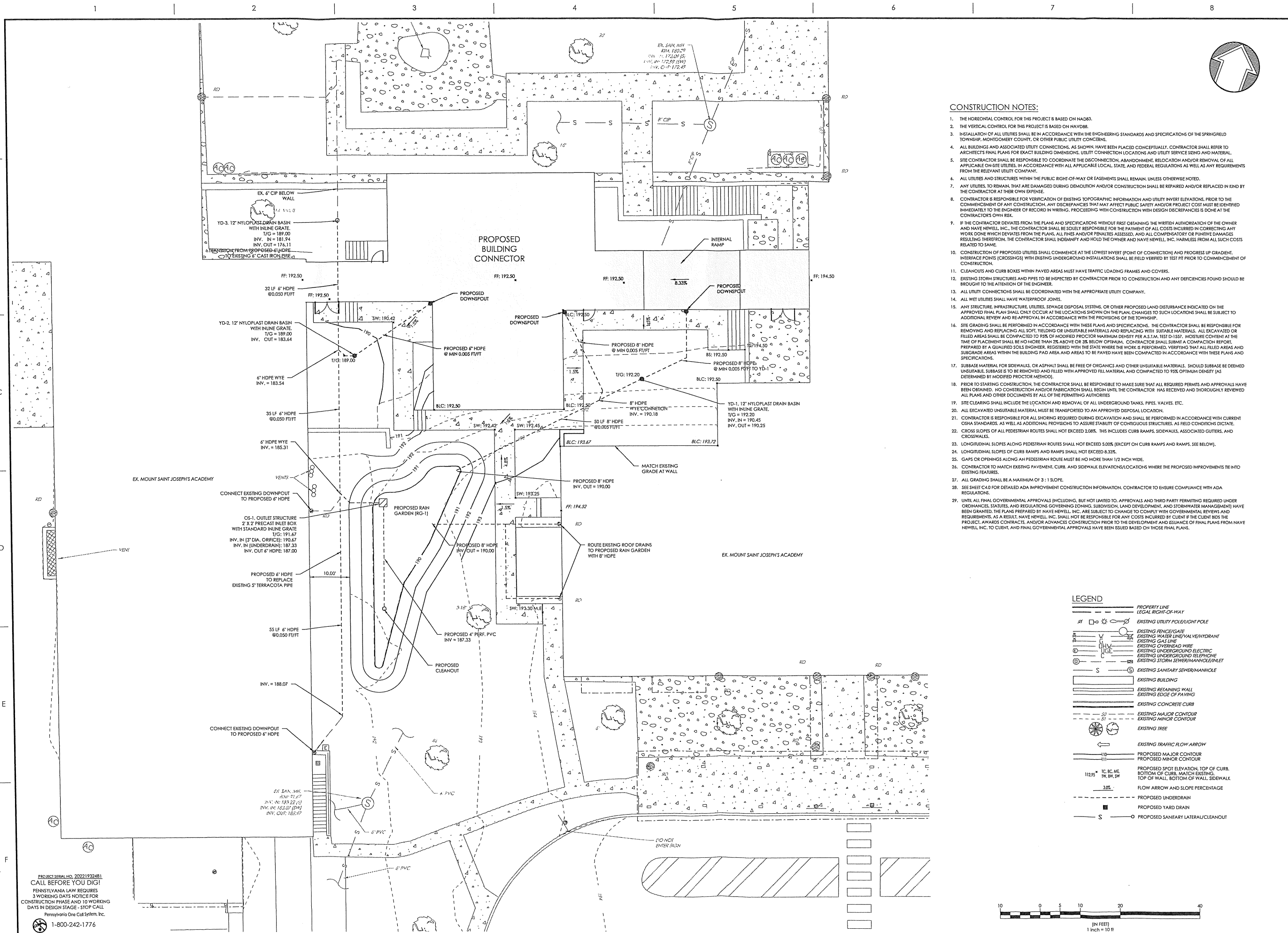
LOCATION: SPRINGFIELD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA

Project No.	2022-019.00	Drawn by:	EMD
Date:	3/30/2023	Chk'd by:	CS
Scale:	1" = 10'	Apprv. by:	TJB
Sheet No.			

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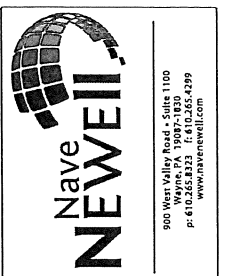
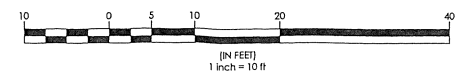


CONSTRUCTION NOTES:

1. THE HORIZONTAL CONTROL FOR THIS PROJECT IS BASED ON NAD83.
2. THE VERTICAL CONTROL FOR THIS PROJECT IS BASED ON NAVD83.
3. INSTALLATION OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE ENGINEERING STANDARDS AND SPECIFICATIONS OF THE SPRINGFIELD TOWNSHIP, MONTGOMERY COUNTY, OR OTHER PUBLIC UTILITY CONCERNS.
4. ALL BUILDINGS AND ASSOCIATED UTILITY CONNECTIONS, AS SHOWN, HAVE BEEN PLACED CONCEPTUALLY. CONTRACTOR SHALL REFER TO ARCHITECT'S FINAL PLANS FOR EXACT BUILDING DIMENSIONS, UTILITY CONNECTION LOCATIONS AND UTILITY SERVICE SIZING AND MATERIAL.
5. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE DISCONNECTION, ABANDONMENT, RELOCATION AND/OR REMOVAL OF ALL APPLICABLE ON-SITE UTILITIES, IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AS WELL AS ANY REQUIREMENTS FROM THE RELEVANT UTILITY COMPANY.
6. ALL UTILITIES AND STRUCTURES WITHIN THE PUBLIC RIGHT-OF-WAY OR EASEMENTS SHALL REMAIN, UNLESS OTHERWISE NOTED.
7. ANY UTILITIES TO REMAIN THAT ARE DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, ANY DISCREPANCIES THAT MAY AFFECT PUBLIC SAFETY AND/OR PROJECT COST MUST BE IDENTIFIED IMMEDIATELY TO THE ENGINEER OF RECORD IN WRITING. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE AT THE CONTRACTOR'S OWN RISK.
9. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS WITHOUT FIRST OBTAINING THE WRITTEN AUTHORIZATION OF THE OWNER AND NAVE NEWELL, INC., THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED, AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND NAVE NEWELL, INC., HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
10. CONSTRUCTION OF PROPOSED UTILITIES SHALL COMMENCE AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. CLEANOUTS AND CURB BOXES WITHIN PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.
12. EXISTING STORM STRUCTURES AND PIPES TO BE INSPECTED BY CONTRACTOR PRIOR TO CONSTRUCTION AND ANY DEFICIENCIES FOUND SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
13. ALL UTILITY CONNECTIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
14. ALL WET UTILITIES SHALL HAVE WATERPROOF JOINTS.
15. ANY STRUCTURE, INFRASTRUCTURE, UTILITIES, SEWAGE DISPOSAL SYSTEMS, OR OTHER PROPOSED LAND DISTURBANCE INDICATED ON THE APPROVED FINAL PLAN SHALL ONLY OCCUR AT THE LOCATIONS SHOWN ON THE PLAN. CHANGES TO SUCH LOCATIONS SHALL BE SUBJECT TO ADDITIONAL REVIEW AND RE-APPROVAL IN ACCORDANCE WITH THE PROVISIONS OF THE TOWNSHIP.
16. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT, PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
17. SUBBASE MATERIAL FOR SIDEWALKS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL AND COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
18. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION AND/OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
19. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
20. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
21. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
22. CROSS SLOPES OF ALL PEDESTRIAN ROUTES SHALL NOT EXCEED 2.08%. THIS INCLUDES CURB RAMPS, SIDEWALKS, ASSOCIATED GUTTERS, AND CROSSWALKS.
23. LONGITUDINAL SLOPES ALONG PEDESTRIAN ROUTES SHALL NOT EXCEED 5.00% (EXCEPT ON CURB RAMPS AND RAMPS. SEE BELOW).
24. LONGITUDINAL SLOPES OF CURB RAMPS AND RAMPS SHALL NOT EXCEED 8.33%.
25. GAPS OR OPENINGS ALONG AN PEDESTRIAN ROUTE MUST BE NO MORE THAN 1/2 INCH WIDE.
26. CONTRACTOR TO MATCH EXISTING PAVEMENT, CURB, AND SIDEWALK ELEVATIONS/LOCATIONS WHERE THE PROPOSED IMPROVEMENTS TIE INTO EXISTING FEATURES.
27. ALL GRADING SHALL BE A MAXIMUM OF 3 : 1 SLOPE.
28. SEE SHEET C4.0 FOR DETAILED ADA IMPROVEMENT CONSTRUCTION INFORMATION. CONTRACTOR TO ENSURE COMPLIANCE WITH ADA REGULATIONS.
29. UNTIL ALL FINAL GOVERNMENTAL APPROVALS (INCLUDING, BUT NOT LIMITED TO, APPROVALS AND THIRD PARTY PERMITTING REQUIRED UNDER ORDINANCES, STATUTES, AND REGULATIONS GOVERNING ZONING, SUBDIVISION, LAND DEVELOPMENT, AND STORMWATER MANAGEMENT) HAVE BEEN GRANTED, THE PLANS PREPARED BY NAVE NEWELL, INC. ARE SUBJECT TO CHANGE TO COMPLY WITH GOVERNMENTAL REVIEWS AND REQUIREMENTS. AS A RESULT, NAVE NEWELL, INC. SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY CLIENT AT THE CLIENT'S RISK. THE PROJECT, AWARD CONTRACTS, AND/OR ADVANCED CONSTRUCTION PRIOR TO THE DEVELOPMENT AND ISSUANCE OF FINAL PLANS FROM NAVE NEWELL, INC. TO CLIENT, AND FINAL GOVERNMENTAL APPROVALS HAVE BEEN ISSUED BASED ON THOSE FINAL PLANS.

LEGEND

	PROPERTY LINE
	LEGAL RIGHT-OF-WAY
	EXISTING UTILITY POLE/LIGHT POLE
	EXISTING FENCE/GATE
	EXISTING WATER LINE/VALVE/HYDRANT
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING STORM SEWER/MANHOLE/INLET
	EXISTING SANITARY SEWER/MANHOLE
	EXISTING BUILDING
	EXISTING RETAINING WALL
	EXISTING EDGE OF PAVING
	EXISTING CONCRETE CURB
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING TREE
	EXISTING TRAFFIC FLOW ARROW
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION, TOP OF CURB, BOTTOM OF CURB, MATCH EXISTING, TOP OF WALL, BOTTOM OF WALL, SIDEWALK
	FLOW ARROW AND SLOPE PERCENTAGE
	PROPOSED UNDERDRAIN
	PROPOSED YARD DRAIN
	PROPOSED SANITARY LATERAL/CLEANOUT



REVISIONS

NO.	DESCRIPTION	DATE	BY



GRADING AND UTILITY PLAN

MOUNT SAINT JOSEPH'S ACADEMY BUILDING CONNECTOR PHASE 1

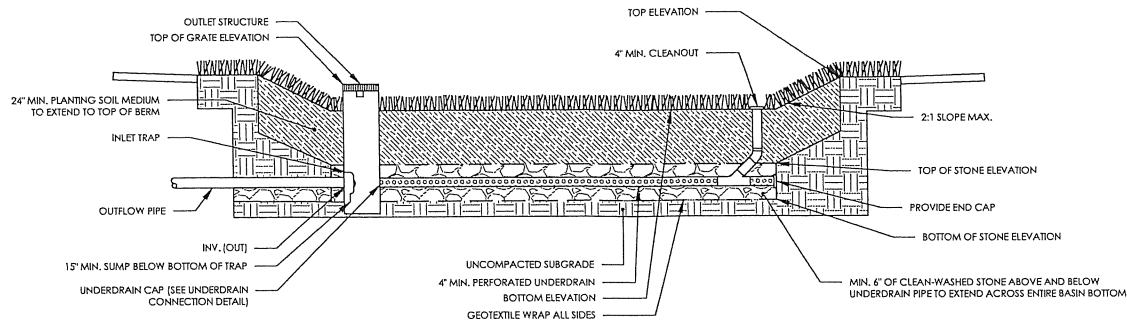
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BASIN	OUTLET STRUCTURE	TOP ELEVATION	BOTTOM ELEVATION	TOP OF STONE ELEVATION	BOTTOM OF STONE ELEVATION	TOP OF GRATE ELEVATION	UNDERDRAIN INVERT	INV. (OUT)	OUTFLOW PIPE (DIAM./MATERIAL)
RG-1	OS-1	192.00	190.00	188.00	187.00	191.67	187.33	187.00	6" PVC

NOTES:

- TEXTURE OF PLANTING SOIL SHOULD CONFORM TO THE CLASSIFICATION WITHIN THE USDA TRIANGLE FOR SANDY LOAM OR LOAMY SAND. PLANTING SOIL SHOULD BE A MIXTURE OF SAND, SILT, AND CLAY PARTICLES AS REQUIRED TO MEET THE CLASSIFICATION. RANGES OF PARTICLE SIZE DISTRIBUTION, AS DETERMINED BY PIPETTE METHOD IN COMPLIANCE WITH ASTM F-1632:

SAND	(0.075-2.0 mm)	53 - 85%
SILT	(0.002 TO 0.05 mm)	40% MAXIMUM
CLAY	(LESS THAN 0.002 mm)	10% MAXIMUM
GRAVEL	(2.0 TO 12.7 mm)	13% MAXIMUM
- PLANTING SOIL SHOULD BE SCREENED AND FREE OF STONES LARGER THAN A HALF-INCH (12.7 mm) IN ANY DIMENSION. NO MORE THAN TEN PERCENT (10%) OF THE SOIL VOLUME SHOULD BE COMPOSED OF SOIL PEGS GREATER THAN ONE INCH (25.4 mm) IN ANY DIMENSION.
- CLODS, OR NATURAL CLUMPS OF SOILS, GREATER THAN THREE INCHES (76.2 mm) IN ANY DIMENSION SHOULD BE ABSENT FROM THE PLANTING SOIL. SMALL CLODS RANGING FROM ONE TO THREE INCHES (25.4 - 76.2 mm) AND PEDS, NATURAL SOIL CLUMPS UNDER ONE INCH (25.4 mm) IN ANY DIMENSION, MAY BE PRESENT BUT SHOULD NOT MAKE UP MORE THAN TEN PERCENT (10%) OF THE SOIL BY VOLUME.
- THE pH OF THE PLANTING SOIL SHOULD HAVE A RANGE OF 5.8-7.1.
- SOLUBLE SALTS SHOULD BE LESS THAN 2.0 mmhos/cm (ds/m), TYPICALLY AS MEASURED BY 1:2 SOIL-WATER RATIO BASIC SOIL SALINITY TESTING. SODIC SOILS [EXCHANGEABLE SODIUM PERCENTAGE (ESP) GREATER THAN 15 AND/OR SODIUM ADSORPTION RATIO (SAR) GREATER THAN 13] SHALL NOT BE ACCEPTABLE FOR USE REGARDLESS OF AMENDMENT.
- ORGANIC CONTENT OF PLANTING SOIL SHOULD HAVE A RANGE OF THREE TO FIFTEEN PERCENT (3-15%) BY WEIGHT AS DETERMINED BY LOSS ON IGNITION (ASTM D2974). TO ADJUST ORGANIC CONTENT, PLANTING SOIL MAY BE AMENDED, PRIOR TO PLACING AND FINAL GRADING, WITH THE ADDITION OF ORGANIC COMPOST.
- ALL AGGREGATE WITHIN THE STONE STORAGE BED SHALL BE CLEAN-WASHED, DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH TEST.
- GEOTEXTILE SHALL CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:

GRAB TENSILE STRENGTH (ASTM-D4632) > OR =	120 LBS.
MULLEN BURST STRENGTH (ASTM-D3786) > OR =	225 LBS.
FLOW RATE (ASTM-D491) > OR =	95 GAL/MIN/FT
UV RESISTANCE AFTER 500 HRS. (ASTM-D4353) > OR =	70%

 HEAT-SEAL OR HEAT CALENDARED FABRICS ARE NOT PERMITTED.

RAIN GARDEN DETAIL

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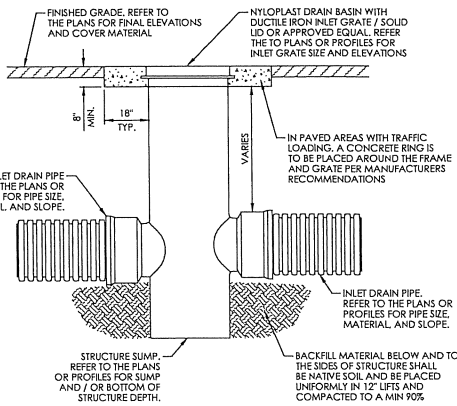
RAIN GARDEN INSTALLATION SEQUENCE:

- UPON COMPLETION OF THE SUB-GRADE WORK THE ENGINEER SHALL BE NOTIFIED AND INSPECT THE RAIN GARDEN CONFIGURATION AND SIZE.
 - COVER EXCAVATED RAIN GARDEN FOOTPRINT 24" AND PLACE AMENDED SOILS MEETING SPECIFICATIONS ON THIS PLAN, AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND THE PADEF BMP MANUAL, APPENDIX C.
 - UPON COMPLETION OF GEOTEXTILE INSTALLATION, SUB-GRADE WORK, STONE PLACEMENT, AND UNDERDRAIN INSTALLATION, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS/HER DISCRETION BEFORE PROCEEDING WITH RAIN GARDEN INSTALLATION.
 - AMENDED SOIL SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB-GRADE PREPARATION/BED INSTALLATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT THAT TAKES PLACE AFTER APPROVAL OF SUB-GRADE STONE BED SHALL BE REMOVED PRIOR TO THE INSTALLATION OF AMENDED SOIL. AT NO EXTRA COST TO THE OWNER.
 - INSTALL AMENDED SOIL (EXCEEDING ALL CRITERIA) IN 18-INCH MAXIMUM LIFTS AND LIGHTLY COMPACT (TAMP WITH BACKSHOE BUCKET OR BY HAND). KEEP EQUIPMENT MOVEMENT OVER AMENDED SOIL TO A MINIMUM. DO NOT OVER COMPACT. INSTALL AMENDED SOIL TO GRADES INDICATED ON THE DRAWINGS.
 - INSTALL 2-3" SHREDED HARDWOOD MULCH (MINIMUM AGE 6 MONTHS) OR COMPOST MULCH EVENLY AS SHOWN ON THE PLANS. DO NOT APPLY MULCH IN AREAS WHERE GROUND COVER IS TO BE GRASS OR WHERE COVER WILL BE ESTABLISHED BY SEEDING.
 - WHERE COVER IS TO BE RESTORED BY SEEDING, INSTALL LIGHTWEIGHT JUTE NETTING TO HOLD SEED IN PLACE. (DO NOT USE COCONUT NETTING).
 - PROTECT RAIN GARDEN FROM SEDIMENT AT ALL TIMES DURING CONSTRUCTION. COMPOST FILTER SOCK, DIVERSION BERMS AND/OR OTHER APPROPRIATE MEASURES SHALL BE USED AT THE TOE OF SLOPES THAT ARE ADJACENT TO RAIN GARDENS TO PREVENT SEDIMENT FROM WASHING INTO THESE AREAS DURING SITE DEVELOPMENT.
 - THE SITE CONTRACTOR SHALL TAKE GREAT CARE TO AVOID EXCESSIVE COMPACTION IN THE AREA WHEN CONSTRUCTING THE RAIN GARDEN. NO FURTHER UP-AND-DOWN DISTURBANCE SHALL TAKE PLACE UNTIL RAIN GARDEN IS CONSTRUCTED AND STABILIZED. ALL CONTRIBUTORY STORMWATER INLETS SHALL BE CAPPED UNTIL THE AREA IS STABILIZED.
 - WHEN THE SITE IS FULLY VEGETATED AND THE SOIL MANIPULATION IS STABILIZED, THE PLAN DESIGNER SHALL BE NOTIFIED AND SHALL INSPECT THE RAIN GARDEN DRAINAGE AREA AT HIS/HER DISCRETION BEFORE THE AREA IS BROUGHT ONLINE AND SEDIMENT CONTROL DEVICES ARE REMOVED.
 - WATER VEGETATION AT THE END OF EACH DAY FOR TWO WEEKS AFTER PLANTING IS COMPLETED.
- * DENOTES A CRITICAL STAGE WHEN A LICENSED PROFESSIONAL IS TO BE PRESENT ON-SITE.

STRUCTURAL BMP MAINTENANCE SCHEDULE

BMP	PROCEDURE	FAILURE / CORRECTIVE ACTION	RESPONSIBILITY
BMP 6.4.5 - RAIN GARDEN / BIOFILTRATION	ANY TRASH/DEBRIS AND SEDIMENT BUILDUP ARE TO BE REMOVED FROM THE RAIN GARDEN AND STRUCTURES TO MAINTAIN THAT THE BMP FUNCTIONS AS DESIGNED. SEDIMENT MUST BE DISPOSED OF AT AN APPROVED LOCATION. STRUCTURAL REPAIRS ARE TO BE PERFORMED AS SOON AS ISSUES ARE KNOWN. SEDIMENT REGRADED ON SITE IN LANDSCAPE AREA OR DISPOSED OFFSITE IN ACCORDANCE WITH DEP REGULATIONS.	FAILURE: INLET CLOGGED OR RUNOFF IS NO LONGER ABSORBED BY THE AMENDED SOILS IN THE RAIN GARDEN. CORRECTIVE ACTION: UNBLOCK THE INLET, REPLACE AMENDED SOILS IN THE RAIN GARDEN AS NEEDED.	PROPERTY OWNER
BMP 6.7.2 - GROUND COVER	ALL DISTURBED AREAS ARE TO BE PREPARED AND SEEDED, OR OTHER PERMANENT GROUND COVER PROVIDED, FOLLOWING FINAL GRADING.	FAILURE: GROUND COVER BECOMES UNSTABLE CORRECTIVE ACTION: STABILIZE IMMEDIATELY	PROPERTY OWNER
STORMWATER CONVEYANCE SYSTEMS	CATCH BASINS, MANHOLES AND INLETS SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS	FAILURE: CONVEYANCE SYSTEM DOES NOT FUNCTION PROPERLY. CORRECTIVE ACTION: REPLACE/REPAIR CONVEYANCE SYSTEMS AS REQUIRED.	PROPERTY OWNER

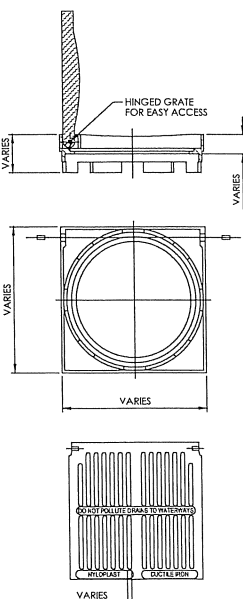
* MAINTENANCE OF PERMANENT BMPs DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
** STRUCTURAL BMPs SHALL BE INSPECTED FOR ACCUMULATION OF SEDIMENT, DAMAGE TO THE OUTLET STRUCTURES, SIGNS OF CONTAMINATION AND/OR BERM STABILITY.



NYLOPLAST DRAIN BASIN / CLEANOUT

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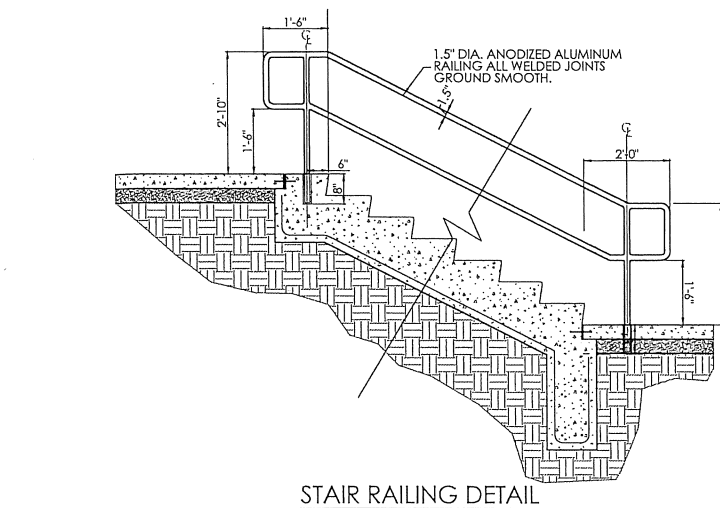
- NOTES:**
- SURFACE DRAINAGE INLETS SHALL INCLUDE THE DRAIN BASIN SIZE AND TYPE AS INDICATED ON THE DRAWINGS. THE DUCTILE IRON GRATES FOR EACH OF THESE FITTINGS ARE TO BE CONSIDERED AN INTEGRAL PART OF THE SURFACE DRAINAGE INLET AND SHALL BE FURNISHED BY THE SAME MANUFACTURER. THE SURFACE DRAINAGE INLETS SHALL BE AS MANUFACTURED BY NYLOPLAST, A DIVISION OF ADVANCED DRAINAGE SYSTEMS, INC. OR PROOF APPROVED EQUAL.
 - REFER TO MANUFACTURERS MATERIAL AND PRODUCT INSTALLATION SPECIFICATIONS FOR ALL BASIN, GRATE, AND BACKFILL MATERIAL SPECIFICATIONS.
 - ALL FITTING JOINTS ON-SITE ARE TO BE WATERTIGHT.



TYPICAL NYLOPLAST GRATE DETAIL

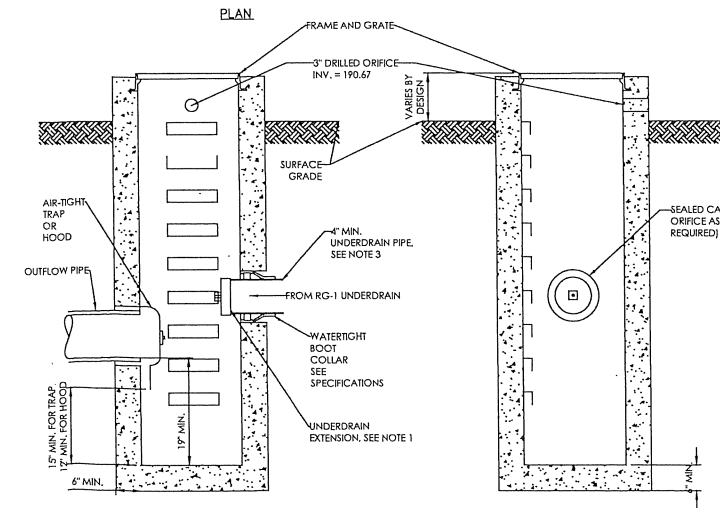
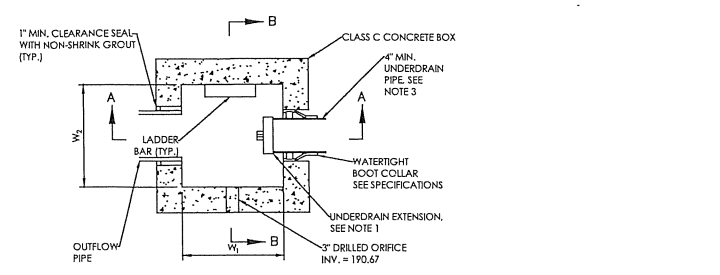
N.T.S.

- NOTES:**
- REFER TO MANUFACTURERS DETAILED DRAWINGS AND SPECIFICATIONS FOR EXACT DIMENSIONS
 - REFER TO PLANS OR PROFILES FOR STANDARD GRATE SIZES AND LOCATIONS.



STAIR RAILING DETAIL

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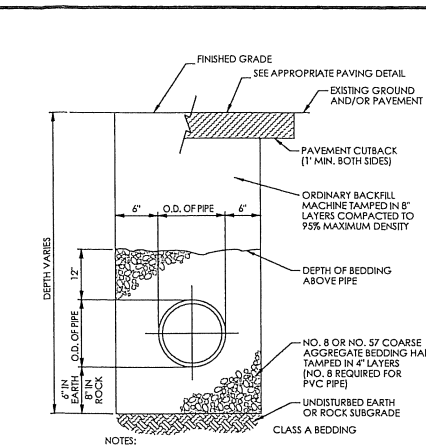


BASIN	OUTLET STRUCTURE	W1	W2	ORIFICE INV.	ORIFICE DIA.	GRATE ELEV.	UNDERDRN AIN INV.	UNDERDRAIN (DIA./MAT./SLOPE)	INV. OUT	OUTFLOW PIPE (DIA./MAT./SLOPE)
RG-1	OS-1	2'	2'	187.33	0.5'	191.67	187.33	4" PERF PVC	187.00	6" HDPE @ 1.0%

- NOTES:**
- TOTAL EXTENSION OF UNDERDRAIN AND CAP ASSEMBLY INTO INLET TO BE 3" FROM INLET WALL TO END OF CAP.
 - ALL JOINTS, ADJUSTMENTS, AND PIPE CONNECTIONS MUST BE WATERTIGHT.
 - UNDERDRAIN MUST BE CONTINUOUSLY PERFORATED AASHTO M252 TYPE 5 OR AASHTO M294 TYPE 5 HDPE PIPING WITH SMOOTH INTERIOR.

OUTLET STRUCTURE DETAIL

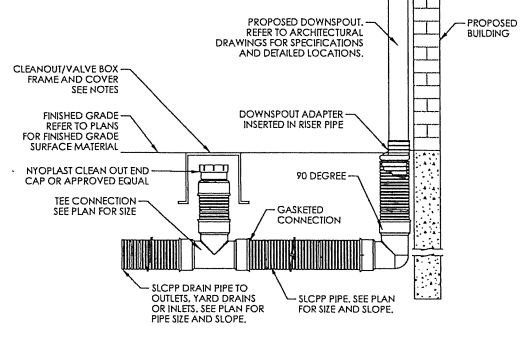
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STORM PIPE TRENCH DETAIL

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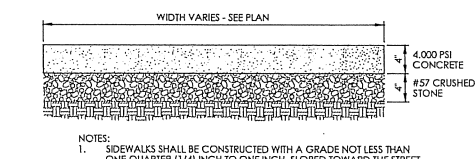
- NOTES:**
- STONE GRADATIONS ARE AASHTO CLASSIFICATION. DETAIL FOR PIPE 4" AND LARGER.



ROOF DRAIN

N.T.S.

- NOTES:**
- ALL JOINTS ARE TO BE WATERTIGHT. CLEANOUTS LOCATED IN PAVED AREAS SUBJECT TO TRAFFIC LOADS SHALL HAVE A HS-20 RATED CLEAN OUT / VALVE BOX FRAME AND COVER.



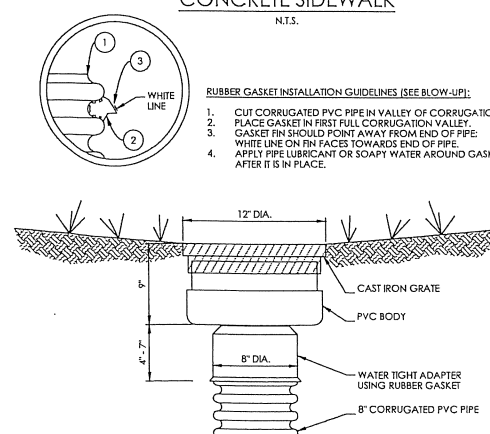
CONCRETE SIDEWALK

N.T.S.

- NOTES:**
- SIDEWALKS SHALL BE CONSTRUCTED WITH A GRADE NOT LESS THAN ONE-FOURTH (1/4) INCH TO ONE INCH, SLOPED TOWARD THE STREET. THE FINISHED GRADE BETWEEN THE OUTSIDE OF THE SIDEWALK TO THE CURBLINE (EDGE OF THE CURBWAY) SHALL NEVER EXCEED A TOTAL VERTICAL ELEVATION CHANGE OF ONE FOOT.
 - CONCRETE SIDEWALK IN AREAS WHERE THERE SHALL BE FOUR THOUSAND (4000) PSI AIR ENTRAINMENT AT TWENTY-EIGHT (28) DAYS WITH CERTIFICATION OF THE MIX FURNISHED TO THE TOWNSHIP ENGINEER. CONCRETE SHALL BE PLACED IN FORMS THAT ARE STRAIGHT AND SECURELY BRACED. CARE SHALL BE TAKEN TO CONTROL THE WATER CONTENT TO PREVENT SEPARATION OF THE AGGREGATES. THE CONCRETE SHALL HAVE A BROOM FINISH AND THE EDGES SHALL BE FINISHED WITH AN APPROVED EDGING TOOL.
 - ALL CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ON A FOUR-INCH CRUSHED STONE OR GRAVEL BASE TO INSURE PROPER DRAINAGE. THE CONCRETE SHALL BE PLACED SO THAT THERE IS A SEPARATE JOINT EVERY FIVE (5) FEET AND SHALL BE SO CONSTRUCTED SO THAT THE FIVE FOOT SECTIONS ARE COMPLETELY SEPARATED FROM ADJACENT SECTIONS. ONE-HALF-INCH (1/2) PREWOLDED EXPANSION JOINTS SHALL BE PLACED EVERY TWENTY (20) FEET AND BETWEEN ALL FORMS WHERE THE CONCRETE SIDEWALK ABUTS A CONCRETE CURB.
 - ALL CONCRETE SIDEWALKS SHALL HAVE A MINIMUM THICKNESS OF FOUR (4) INCHES.

RUBBER GASKET INSTALLATION GUIDELINES (SEE BLOW-UP):

- CUT CORRUGATED PVC PIPE IN VALLEY OF CORRUGATION.
- PLACE GASKET IN FIRST FULL CORRUGATION VALLEY.
- GASKET FIN SHOULD POINT AWAY FROM END OF PIPE.
- APPLY PIPE LUBRICANT OR SOAPY WATER AROUND GASKET AFTER IT IS IN PLACE.



- NOTE:**
- THE 12" NYLOPLAST INLINE DRAIN IS MANUFACTURED BY (ADS) ADVANCED DRAINAGE SYSTEMS, INC. CATALOG NUMBER 2712AG.

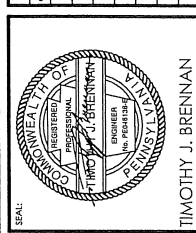
NYLOPLAST 12" INLINE DRAIN DETAIL

N.T.S.



900 West Valley Road • Suite 1100
Wayne, PA 19097-1830
P: 810.399.4799
www.navenewell.com

DATE	BY	REVISIONS



TIMOTHY J. BRENNAN
Professional Engineer
PA License No. 46786

CONSTRUCTION DETAIL SHEET
**MOUNT SAINT JOSEPH'S ACADEMY
BUILDING CONNECTOR
PHASE 1**
DRAWING NAME: SPRINGFIELD TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
LOCATION:

Project No. 2022-019.00	drawn by: EMD
Date: 3/30/2023	checked by: CS
Scale: N/A	approved by: TJB
Sheet No.	

C7.0