



# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org) Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

James M. Lee  
*President*

Baird M. Standish  
*Vice President*

Peter D. Wilson  
Eddie T. Graham  
Michael E. Maxwell  
Jonathan C. Cobb  
Susanna O. Ratsavong

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Joelle Kleinman  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

## Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

**Monday, April 24, 2023**, at 7:00 p.m. at which time a public meeting will commence on the following application:

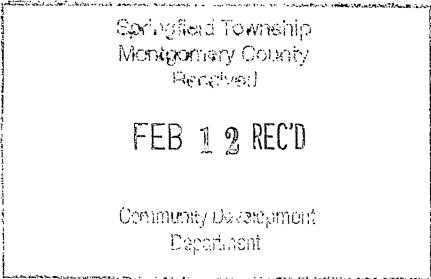
**Case #23-05:** This is the application of **Ms. Christina Visco**, owner of property located at 622 E. Gravers Lane, Wyndmoor, PA 19038, known as Parcel #5200-0778-0007. The applicant has filed an Appeal to the Actions of the Zoning Officer pertaining to the violation letter sent to her and dated January 13, 2023. The violation letter is for the operation of a Professional Home Office or a No-Impact Home Based Business in violation of Section 114-21 and Section 114-139.2 of the Springfield Township Zoning Ordinance. The applicant contends there is no home office or business activity conducted at the property. The property is zoned within the A-Residential District of Ward #2 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township  
Zoning Hearing Board  
Mark A. Penecale  
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30 DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD  
MONTGOMERY COUNTY  
1510 PAPER MILL ROAD  
WYNDMOOR, PA 19038



NO. 23-05

DATE: 2/9/23

**PETITION**

**SPRINGFIELD TOWNSHIP ZONING HEARING BOARD**

We Christina Visco  
(Name of Applicant)

Of (Address) 622 E. Gravers Lane, Wyndmoor, PA 19038

(Telephone No.) 973-424-5622

do hereby make application before the Springfield Township Zoning Hearing Board to request:

**An appeal** from the decision of the Zoning/Building Official.

**A special exception** as provided for in Article \_\_\_\_\_, Section \_\_\_\_\_, Subsection \_\_\_\_\_, of the Springfield Township Zoning Code.

**A variance** from the requirements set forth in Article \_\_\_\_\_, Section \_\_\_\_\_, Subsection \_\_\_\_\_, of the Springfield Township Zoning Code.

Other (please specify) \_\_\_\_\_

The property concerned is located at 622 E. Gravers Lane, Wyndmoor, PA 19038

Petitioner's Interest in the property is Owner

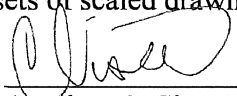
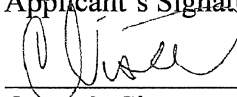
Present use of property Primary Residence, home office

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

A Violation Notice was delivered in late January 2023 for an alleged violation of  
Ordinance 114-21 and 114-139.2. However, there is no claim as to what provision of  
said Ordinances was, were or are allegedly being violated and further, beyond the  
owner using her house as a home office, there are no businesses being operated at the  
premises.

**APPLICANT NOTE:** Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

Check # 322  
\$500.00  
Case #23-05  
Mrs. Christina Visco  
622 E Conners Lane.

  
Applicant's Signature  
  
Owner's Signature

**Do not write in this space.**

Petition granted.

Petition refused.

The following special conditions are imposed.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By Order of the Zoning Hearing Board

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

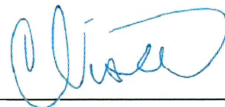
Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

**Christina Visco**

\_\_\_\_\_  
Printed Name of Applicant



\_\_\_\_\_  
Applicant's Signature and Date

**TOWNSHIP OF SPRINGFIELD  
COMMUNITY DEVELOPMENT  
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE  
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

**Application Procedures**

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (**8**) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.



**DEED BK 6193 PG 01575 to 01579**  
 INSTRUMENT # : 2020075982  
 RECORDED DATE: 09/17/2020 02:18:44 PM



5817406-0020Q


RECORDER OF DEEDS  
 MONTGOMERY COUNTY  
 Jeanne Sorg

One Montgomery Plaza  
 Swede and Airy Streets ~ Suite 303  
 P.O. Box 311 ~ Norristown, PA 19404  
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

**MONTGOMERY COUNTY ROD**

**OFFICIAL RECORDING COVER PAGE**

Page 1 of 5

<b>Document Type:</b> Deed	<b>Transaction #:</b> 6131974 - 2 Doc(s)
<b>Document Date:</b> 08/24/2020	<b>Document Page Count:</b> 4
<b>Reference Info:</b>	<b>Operator Id:</b> dkrasley
<b>RETURN TO:</b> (Simplifile) Heritage Land Transfer 1576 McDaniel Dr West Chester, PA 19380-6673 (610) 429-9200	<b>PAID BY:</b> HERITAGE LAND TRANSFER
<b>* PROPERTY DATA:</b> Parcel ID #: 52-00-07780-00-7 Address: 622 E GRAVERS LN  PA Municipality: Springfield Township (100%) School District: Springfield	
<b>* ASSOCIATED DOCUMENT(S):</b>	
<b>CONSIDERATION/SECURED AMT:</b> \$2,250,000.00 <b>TAXABLE AMOUNT:</b> \$2,250,000.00 <b>FEES / TAXES:</b> Recording Fee:Deed \$86.75 State RTT \$22,500.00 Springfield Township RTT \$11,250.00 Springfield School District RTT \$11,250.00 <b>Total:</b> \$45,086.75	DEED BK 6193 PG 01575 to 01579 Recorded Date: 09/17/2020 02:18:44 PM  I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.  
<b>Jeanne Sorg</b> Recorder of Deeds	

Rev1 2016-01-29

**PLEASE DO NOT DETACH**

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

\*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

Prepared by and Return to:

Heritage Land Transfer Company, Inc.  
1576 McDaniel Drive  
West Chester, PA 19380

610.429.9200

File No. HL23480F

UPI # 52-00-07780-007

MONTGOMERY COUNTY COMMISSIONERS REGISTRY  
52-00-07780-00-7 SPRINGFIELD TOWNSHIP  
622 E GRAVERS LN  
MAGUIRE JAMES J 2004 ANNUITY TRUST TARA M MAGUIRE & ROBERT L FRIEDMAN TRS  
B 020 L U 011 1101 09/08/2020 JG

**This Indenture**, made the 24th day of August, 2020,

**Between**

**TARA M. MAGUIRE AND ROBERT I. FRIEDMAN, TRUSTEES OF THE  
JAMES J. MAGUIRE 2004 ANNUITY TRUST, DATED 2-9-2004 FOR TARA  
MAGUIRE**

(hereinafter called the Grantor), of the one part, and

**CHRISTINA VISCO**

(hereinafter called the Grantee), of the other part,

**Witnesseth**, that the said Grantor for and in consideration of the sum of **Two Million Two Hundred Fifty Thousand And 00/100 Dollars (\$2,250,000.00)** lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee

ALL THAT CERTAIN lot or piece of .ground with the improvements thereon, situate in the Township of Springfield, in the County of Montgomery, and in the Commonwealth of Pennsylvania according to a plan prepared by Momenee and Associates, Inc. Consulting Civil Engineers and Land Surveyors titled "Lot Line Change Plan - 622 and 624 East Gravers Lane" Sheet 1 of 1 dated August 16, 2004 and last revised December 21, 2004 and recorded on September 9, 2005 in Plan Book 25, Page 225, Instrument No. 2005128073 as follows to wit:

BEGINNING at a point on the Southerly Right of Way line of East Gravers Lane (60' wide) said point being the Northwestern corner of 622 East Gravers Lane, and being located 454.15 feet from the corner of Gravers Lane and Ardmore Avenue; thence from said beginning point along the aforementioned Southerly right of way line of East Gravers Lane, North 40 degrees 35 minutes 00 seconds East 20.15 feet to a point marked by an iron pin; thence leaving said Southerly right of way line, of East Gravers Lane, North 44 degrees 58 minutes 00 seconds West, 10.03 feet to a point on the title line of East Gravers Lane marked by an iron pin; thence along aforesaid title line, North 40 degrees 35 minutes 00 seconds East 80.00 feet to a point; thence leaving said title line and crossing the aforesaid

Southerly right of way line of East Gravers Lane along line of lands of 624 East Gravers Lane, South 44 degrees 58 minutes 00 seconds East, 208.52 feet to a point; thence continuing along line of lands of 624 East Gravers Lane, South 40 degrees 35 minutes 00 seconds West, 91.91 feet to a point on line of lands now or formerly of Paul E. and Dorothy M. Henchey, thence along lands of Henchey, North 47 degrees 20 minutes 44 seconds West, 198.00 feet to the first mentioned point and place of beginning.

BEING Unit No. 11.

BEING KNOWN as 622 East Gravers Lane.

Tax ID / Parcel No. 52-00-07780-00-7

Being the same premises which MEF Main Street, LLC, a Pennsylvania limited liability company by Deed dated 5-10-2016 and recorded 5-13-2016 in Montgomery County in Deed Book 5998 page 1718 conveyed unto Paul Edward Koren and Peyton Howell-Koren, husband and wife, in fee.

Being the same premises which Paul Edward Koren and Peyton Howell-Koren, husband and wife by Deed dated 11-18-2019 and recorded 12-2-2019 in Montgomery County in Deed Book 6163 page 589 conveyed unto Tara M. Maguire and Robert I. Friedman, Trustees of the James J. Maguire 2004 Annuity Trust, Dated 2-9-2004 for Tara Maguire, in fee.

**Together with** all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said grantor, as well at law as in equity, of, in and to the same.

**To have and to hold** the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns, forever.

**And** the said Grantor, for itself, its successors and assigns, does, by these presents, covenant, grant and agree, to and with the said Grantee, its successors and assigns, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor, and its successors and assigns, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.

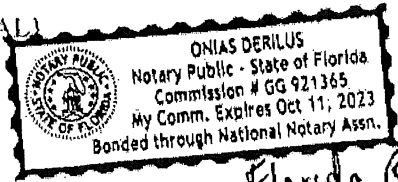
**In Witness Whereof**, the party of the first part has caused its common and corporate seal to be affixed to these presents by the hand of its Trustee, and the same to be duly attested by its Trustee. Dated the day and year first above written.



ATTEST:

Onias Derilus

{SEAL}



**TARA M. MAGUIRE AND ROBERT I. FRIEDMAN, TRUSTEES OF THE JAMES J. MAGUIRE 2004 ANNUITY TRUST, DATED 2-9-2004 FOR TARA MAGUIRE**

By:

Tara M. Maguire, Trustee

By:

Robert I. Friedman, Trustee

Commonwealth of ~~Pennsylvania~~ } ss  
County of Palm Beach

AND NOW, this 7<sup>th</sup> day of September, 2020, before me, the undersigned Notary Public, appeared **Tara M. Maguire**, who acknowledged himself/herself to be the **Trustee of Tara M. Maguire and Robert I. Friedman, Trustees of the James J. Maguire 2004 Annuity Trust, Dated 2-9-2004 for Tara Maguire**, a Trust, and he/she, as such **Trustee** being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as **Trustee**.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

Onias Derilus  
Notary Public

My commission expires October 11, 2023

Commonwealth of Pennsylvania } ss  
County of \_\_\_\_\_

AND NOW, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, before me, the undersigned Notary Public, appeared **Robert I. Friedman**, who acknowledged himself/herself to be the **Trustee of Tara M. Maguire and Robert I. Friedman, Trustees of the James J. Maguire 2004 Annuity Trust, Dated 2-9-2004 for Tara Maguire**, a Trust, and he/she, as such **Trustee** being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as **Trustee**.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

\_\_\_\_\_  
Notary Public

My commission expires \_\_\_\_\_

The precise residence and the complete post office address of the above-named Grantee is:

\_\_\_\_\_  
On behalf of the Grantee

ATTEST:

**TARA M. MAGUIRE AND ROBERT I. FRIEDMAN, TRUSTEES OF THE JAMES J. MAGUIRE 2004 ANNUITY TRUST, DATED 2-9-2004 FOR TARA MAGUIRE**

{SEAL}

*Friedman*

By: Tara M. Maguire, Trustee  
By: Robert I Friedman, Trustee *Trustee*

Commonwealth of Pennsylvania } ss  
County of Montgomery

AND NOW, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, before me, the undersigned Notary Public, appeared **Tara M. Maguire**, who acknowledged himself/herself to be the **Trustee of Tara M. Maguire and Robert I. Friedman, Trustees of the James J. Maguire 2004 Annuity Trust, Dated 2-9-2004 for Tara Maguire**, a corporation, and he/she, as such **Trustee** being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as **Trustee**.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

\_\_\_\_\_  
Notary Public

My commission expires \_\_\_\_\_

Commonwealth of Pennsylvania } ss  
County of Montgomery

AND NOW, this 24 day of August, 2020, before me, the undersigned Notary Public, appeared **Robert I. Friedman**, who acknowledged himself/herself to be the **Trustee of Tara M. Maguire and Robert I. Friedman, Trustees of the James J. Maguire 2004 Annuity Trust, Dated 2-9-2004 for Tara Maguire**, a corporation, and he/she, as such **Trustee** being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as **Trustee**.

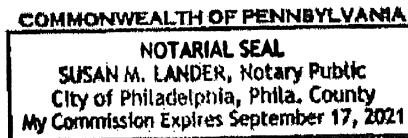
IN WITNESS WHEREOF, I hereunder set my hand and official seal.

*Susan M Lander*  
\_\_\_\_\_  
Notary Public

My commission expires 9/17/2021  
he precise residence and the complete post office address of the above-named Grantee is:

622 E Crawfords Ln.  
Wynndmoor PA 19038

\_\_\_\_\_  
On behalf of the Grantee





# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org)

Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

James M. Lee  
*President*

Baird M. Standish  
*Vice President*

Peter D. Wilson  
Eddie T. Graham  
Michael E. Maxwell  
Jonathan C. Cobb  
Susanna O. Ratsavong

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Joelle Kleinman  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

Ms. Christina Visco  
622 E. Gravers Lane  
Wyndmoor, PA 19038

January 13, 2023

## VIOLATION NOTICE

**Re: Business Activities at 622 E. Gravers Lane, Wyndmoor, PA 19038.**

**Violation Location:** 622 E. Gravers Lane, Wyndmoor, PA 19038.

**Violation Of:** Springfield Township Zoning Ordinance Section 114-21 and Section 114-139.2, operation of a business or businesses at 622 E. Gravers Lane in non-compliance with limitations of a Professional Home Office or a No-Impact Home Based Business.

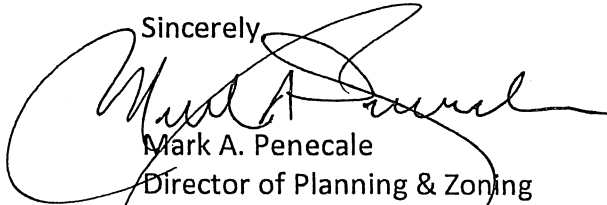
### **Action Required:**

1. Cease all business activity at the property on or before 4:00 P.M. on Monday, January 23, 2023 or.
2. Within 30 days of the date of this letter, submit a Zoning Hearing Board application to try and obtain the required zoning relief to allow the business activity to remain in operation.
3. Within 30 days of this letter, appeal this violation notice to the Zoning Hearing Board.

If the property is brought into compliance by 4:00 P.M. on Monday, January 23, 2023 and remains in compliance with the requirements of the Springfield Township Zoning Ordinance, no further action will be taken. If you submit a Zoning Hearing Application within 30 days of the date of this letter, prosecution will be stayed, until such time that the Zoning Hearing Board renders their decision. Please be aware that violations of the Springfield Township Zoning Ordinance are punishable of a fine of as much as \$1,000.00 per offense, with each day the violation remains uncorrected being counted as a separate offense.

If there are any questions that you may have, I am available during normal office hours at 215-836-7600, ext. 1114.

Sincerely



Mark A. Penecale  
Director of Planning & Zoning  
Springfield Township

Cc: Michael Taylor; Springfield Township Manager  
James McGarrity, Esq.; Springfield Township Solicitor  
File Copy (2)



# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org)

Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

James M. Lee  
*President*

Baird M. Standish  
*Vice President*

Peter D. Wilson  
Eddie T. Graham  
Michael E. Maxwell  
Jonathan C. Cobb  
Susanna O. Ratsavong

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Joelle Kleinman  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

## Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

**Monday, April 24, 2023**, at 7:00 p.m. at which time a public meeting will commence on the following application:

**Case #23-07:** This is the application of **Mr. Matthew Fumento**, owner of property located at 500 E. Gravers Lane, Wyndmoor, PA 19038, known as Parcel #5200-1657-0009. The applicant has requested a variance from Section 114-135.A of the Springfield Township Zoning Ordinance. The applicant seeks approval to install an additional 16 feet of six-foot-high fencing along his property line adjoining Stenton Avenue and E. Gravers Lane. Mr. Fumento received approval for the six-foot high fencing fronting Stenton Avenue in July of 2021. The property is zoned within the A-Residential District of Ward #2 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township  
Zoning Hearing Board  
Mark A. Penecale  
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30 DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD  
MONTGOMERY COUNTY  
1510 PAPER MILL ROAD  
WYNDMOOR, PA 19038

NO. 23-07

DATE: 3/14/

**PETITION**

**SPRINGFIELD TOWNSHIP ZONING HEARING BOARD**

We Matthew Fumento  
(Name of Applicant)

Of (Address) 500 E Gravers Lane, Wyndmoor, PA 19038

(Telephone No.) 603-667-5234

do hereby make application before the Springfield Township Zoning Hearing Board to request:

       An **appeal** from the decision of the Zoning/Building Official.

       A **special exception** as provided for in Article       , Section       ,  
Subsection       , of the Springfield Township Zoning Code.

  X   A **variance** from the requirements set forth in Article 114, Section 135,  
Subsection A, of the Springfield Township Zoning Code.

       Other (please specify)       

**The property concerned is located at** 500 E. Gravers Lane, Wyndmoor, PA 19038

**Petitioner's Interest in the property is** Property Owner

**Present use of property** Single Family Dwelling

---

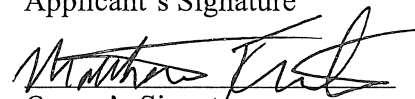
Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

In July of 2021 I received approval to install six foot high solid fencing along the Stenton Avenue frontage of my home. I now seek approval to continue the 6 foot high fencing around the radius and an additional 8 feet along my E. Gravers Lane frontage. The reason for this request is the same as it was in 2021. The fencing would help reduce traffic noise, provide additional screening for our home and help eliminate damage to our property from what seems to be regular accidents at the intersection of E. Gravers & Stenton Avenue.

**APPLICANT NOTE:** Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

Case #23-07  
Check # 104  
\$500.00

Applicant's Signature

  
Owner's Signature

**Do not write in this space.**

Petition granted.

Petition refused.

The following special conditions are imposed.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

By Order of the Zoning Hearing Board

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**TOWNSHIP OF SPRINGFIELD  
COMMUNITY DEVELOPMENT  
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE  
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

**Application Procedures**

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (**8**) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.



## Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

Matthew Fumento  
Printed Name of Applicant

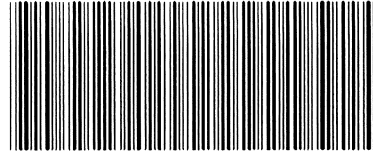
Matthew Fumento  
Applicant's Signature and Date



RECORDER OF DEEDS  
MONTGOMERY COUNTY  
*Jeanne Sorg*

One Montgomery Plaza  
Swede and Airy Streets ~ Suite 303  
P.O. Box 311 ~ Norristown, PA 19404  
Office: (610) 278-3289 ~ Fax: (610) 278-3869

**DEED BK 6181 PG 02982 to 02990**  
INSTRUMENT # : 2020040962  
RECORDED DATE: 06/04/2020 01:17:03 PM



5771984-00674

A-2

**MONTGOMERY COUNTY ROD**

**OFFICIAL RECORDING COVER PAGE**

Page 1 of 9

**Document Type:** Deed Miscellaneous  
**Document Date:** 05/13/2020  
**Reference Info:** 902576-191 - Assignment Agreement

**Transaction #:** 6055743 - 1 Doc(s)  
**Document Page Count:** 8  
**Operator Id:** dawhitner

**RETURN TO:** (Email)  
Denise M Foster  
460 Norristown Road, Suite 110  
Blue Bell Executive Campus  
Blue Bell, PA 19422

**PAID BY:**  
MICHELE SCARPONE

**\* PROPERTY DATA:**  
Parcel ID #: 52-00-16570-00-1  
Address: 500 E GRAVERS LN  
  
PA  
Municipality: Springfield Township (100%)  
School District: Springfield

**\* ASSOCIATED DOCUMENT(S):**

**CONSIDERATION/SECURED AMT: \$0.00**

**FEES / TAXES:**  
Recording Fee: Deed Miscellaneous \$73.75  
Additional Pages Fee \$8.00  
eRecording Fee Per Doc \$3.00  
Rejected Document Fee \$10.00  
**Total: \$94.75**

DEED BK 6181 PG 02982 to 02990  
Recorded Date: 06/04/2020 01:17:03 PM

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.



**Jeanne Sorg**  
Recorder of Deeds

Rev1 2016-01-29

**PLEASE DO NOT DETACH**

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

\*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

Prepared By: James J. Garrity, Esquire  
Scott C. Denlinger, Esquire  
Wisler Pearlstine LLP  
Blue Bell Executive Campus  
460 Norristown Road, Suite 110  
Blue Bell, PA 19422

MONTGOMERY COUNTY COMMISSIONERS REGISTRY  
52-00-16570-00-1 SPRINGFIELD TOWNSHIP  
500 E GRAVERS LN  
MOGHADDAMI PANTEHA & FUMENTO MATTHEW \$15.00  
B 018 L 1 U 004 2103 05/29/2020 JG

Return To: Same as above

Parcel No.: 52-00-16570-00-1

**ASSIGNMENT AGREEMENT**

**THIS AGREEMENT** made this 13<sup>TH</sup> day of July, 2020, by and among by and among **SPRINGFIELD TOWNSHIP**, 1510 Paper Mill Road, Wyndmoor, Montgomery County, Pennsylvania 19038 ("Township"); **JWS GRAVERS LLC**, a Pennsylvania limited liability company with a registered mailing address of 4523 Larchwood Avenue, Philadelphia, Pennsylvania 19143 (the "Assignor"); and **MATTHEW FUMENTO and PANTEHA MOGHADDAMI**, adult individuals with a mailing address of 761 ~~751~~ South 15th Street, Philadelphia, Pennsylvania 19146 (collectively, the "Assignee").  
*ME PM*

**WITNESSETH:**

**WHEREAS**, on January 3, 2020, the Township and Assignor entered into a Land Development and Financial Security Agreement for Lot 1 wherein Assignor received certain rights, subject to terms and conditions stated therein (the "Agreement"), to be exercised at the property located at 500 East Gravers Land in Springfield Township, Montgomery County, Pennsylvania, identified as Tax Parcel No. 52-00-16570-00-1 (the "Entire Tract"), including, but not limited to the subdivision of the Entire Tract into two (2) lots and the development of Lot 1. After the Entire Tract was subdivided into two (2) lots, Lot 1 retained Tax Parcel No. 52-00-16570-00-1 (Lot 1 is hereinafter referred to as the "Property"); and

**WHEREAS**, a Memorandum of Land Development and Financial Security Agreement executed by the Township and Assignor dated January 3, 2020 was recorded in the Office of the Recorder of Deeds for Montgomery County, Pennsylvania on January 14, 2020 in Deed Book 6168, Page 1725; and

**WHEREAS**, Assignor was required to install certain required improvements as described in the Agreement and posted "financial security" under the Agreement in the form of a cash deposit to insure the completion of those required improvements on the Property; and

**WHEREAS**, as of the date of this Assignment, no funds have been released from the cash deposit; and

**WHEREAS**, Assignor conveyed its interest in the Property to Assignee pursuant to a certain Deed recorded with the Montgomery County Office of the Recorder of Deeds at Book 6177, Page 02462; and

**WHEREAS**, Assignor desires to assign all of its right, title and interest in the Agreement to Assignee, such that, following the execution of this Agreement, Assignor shall have no further interest or rights pursuant to the Agreement. and Assignee desires to assume and be obligated to perform all the duties and obligations of Assignor under the Agreement; and

**WHEREAS**, the Township hereby consents to the Assignment; and

**WHEREAS**, all of the aforementioned shall be in accordance with the terms and conditions of this Assignment Agreement.

**NOW, THEREFORE**, intending to be legally bound, and for other good and valuable consideration, the parties hereto agree as follows:

1. **Recitals**. The aforementioned recitals noted in this Assignment are deemed to be part of this Assignment and are incorporated into the terms and conditions of this Assignment.

2. **Assignment.** Assignor herein assigns all of its right, title and interest in the Agreement referred to herein to Assignee, and, upon execution of this Assignment by all parties, Assignor shall no longer have any interest in the rights set forth in the Agreement for the Property.

3. **Acceptance.** Assignee herein accepts the assignment of the Agreement as set forth herein, and agrees to be bound by the terms, conditions, and obligations of the Agreement as if Assignee had originally executed the Agreement with the Township, including, without limitation, the requirement to post financial security in the form of a cash deposit in the amount required by the Agreement.

4. **Consent.** The Township herein consents to the Assignment of the Agreement, conditioned upon Assignee posting replacement financial security as required by the Agreement.

5. **Release of Assignor's Financial Security.** Prior to the execution of this Assignment, Assignee posted replacement financial security in a form and amount deemed sufficient by the Township, pursuant to the Agreement, in the Township's sole discretion. Upon the execution of this Assignment, the Township shall approve the release to Assignor of the original financial security posted by the Assignor.

6. **References to "Owner/Developer".** The term "Owner/Developer" as used in the Agreement shall hereinafter be deemed to reference the Assignee, consistent with the Assignee's assumption of obligations pursuant to this Assignment.

7. **Notice.** The following information shall be used for purposes of notice to the Assignee under the terms and conditions of the Agreement:

Matthew Fumento & Panteha Moghaddami  
761 South 15th Street  
Philadelphia, PA 19146

8. **Reaffirmation and Ratification.** In all other respects, the Agreement entered previously is reaffirmed and ratified, subject only to the modifications to same, as set forth herein.

9. **Counterparts.** This Agreement may be executed in one or more counterparts, all of which shall be considered one and the same agreement, and shall become a binding agreement when one or more counterparts have been signed and delivered to each of the parties. This Amendment shall become binding when one or more counterparts hereof, individually or taken together, shall bear the signatures of all of the parties reflected hereon as the signatories. Any photographic or Xerox copy of this Amendment, with all signatures reproduced on one or more set of signature pages, shall be considered for all purposes as if it were an executed counterpart of this Amendment.

[Signature page follows]

IN WITNESS WHEREOF, the parties have hereunto set their hands and seals on the day and year first above written.

**TOWNSHIP:**

**SPRINGFIELD TOWNSHIP**

By: \_\_\_\_\_

*Baird M. Standish*  
Baird M. Standish, President,  
Board of Commissioners

Attest: \_\_\_\_\_

*A. Michael Taylor*  
A. Michael Taylor, Secretary

**ASSIGNOR:**

**JWS GRAVERS LLC**

By: \_\_\_\_\_

*Mark Greenberg*  
Mark Greenberg, Authorized Member

**ASSIGNEE:**

By: \_\_\_\_\_

*Matthew Fumento*  
Matthew Fumento

By: \_\_\_\_\_

*Panteha Moghaddami*  
Panteha Moghaddami

ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA :

: SS

COUNTY OF MONTGOMERY :

On this, the 19th day of May, 2020, before me, the undersigned officer, a Notary Public, personally appeared **Baird M. Standish**, known to me to be the President of the Board of Commissioners of Springfield Township, whose name is subscribed to the within instrument, and acknowledged that he executed the same on behalf of Springfield Township for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

*Marie McLennan*  
Notary Public

My Commission Expires: 2/19/2023

Commonwealth of Pennsylvania - Notary Seal  
MARIE MCLENNAN, Notary Public  
Montgomery County  
My Commission Expires February 19, 2023  
Commission Number 1288432




ACKNOWLEDGEMENT

COMMONWEALTH OF PENNSYLVANIA :  
: ss Philadelphia  
COUNTY OF Philadelphia :

On this, the 13<sup>th</sup> day of May, 2020, before the undersigned officer, personally appeared Mark Greenberg known to me or satisfactorily proven to be the Authorized Member of JWS Gravers LLC, and as such officer, being duly authorized to do so, executed the within instrument on behalf of the corporation for the purposes therein contained by signing the name of the corporation by himself as such officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

  
Notary Public Michael D. Serratore  
My Commission Expires: 12.21.2023

Commonwealth of Pennsylvania - Notary Seal  
Michael D. Serratore, Notary Public  
Montgomery County  
My commission expires December 21, 2023  
Commission number 1295344  
Member, Pennsylvania Association of Notaries

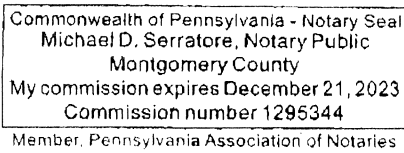
COMMONWEALTH OF PENNSYLVANIA

:  
: SS Philadelphia  
:

COUNTY OF Philadelphia

On this, the 13<sup>th</sup> day of May, 2020, before me, the undersigned officer, a Notary Public, personally appeared **Matthew Fumento**, known to be or satisfactorily proven to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



Notary Public *Michael D. Serratore*  
My Commission Expires: 12.21.2023

ACKNOWLEDGEMENT

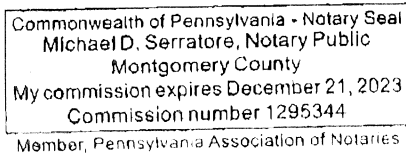
COMMONWEALTH OF PENNSYLVANIA

:  
: SS Philadelphia  
:

COUNTY OF Philadelphia

On this, the 13<sup>th</sup> day of May, 2020, before me, the undersigned officer, a Notary Public, personally appeared **Panteha Moghaddami**, known to be or satisfactorily proven to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.



Notary Public *Michael D. Serratore*  
My Commission Expires: 12.21.2023



# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org)

Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

Baird M. Standish  
*President*

Eddie T. Graham  
*Vice President*

Jeffrey T. Harbison  
Peter D. Wilson  
Michael E. Maxwell  
Jonathan C. Cobb  
James M. Lee

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Bonny S. Davis  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

Mr. Matthew Fumento  
500 E. Gravers Lane  
Wyndmoor, PA 19038

July 27, 2021

**Re: Zoning Hearing Board Application #21-15, for the property located at 500 E. Gravers Lane, Wyndmoor, PA 19038.**

Dear Mr. Fumento,

This letter is sent to inform you that on Monday, July 26, 2021, after the hearing, the Zoning Hearing Board of Springfield Township approved the requested variance from Section 114-135.A of the Springfield Township Zoning Ordinance. This will allow for six (6) foot high fencing to be installed on the front property along the Stenton Avenue frontage of your property located at 500 E. Gravers Lane, Wyndmoor, PA 19038, in accordance with the yellow highlighted Exhibit A-7. This application was approved as per the testimony, plans and photographs received and submitted into the record for this application. This application was approved with the following condition:

**Condition:** The proposed six (6) foot high fencing must be board on board or shadow box style pine or cedar wood fencing, or a similar style and material acceptable to the Zoning Officer. No relief was granted for fencing to be installed along the E. Gravers Lane frontage of your property.

The approval of this application was 2-1, with the Chair dissenting for fear that a six foot tall fence would impair the character of the neighborhood. If there are any questions that you may have, please feel free to contact me at 215-836-7600, ext. 1114.

Sincerely,

Mark A. Penecale  
Director of Planning & Zoning

Cc: ZHB Members by way of email  
ZHB Solicitor by way of email  
Michael Taylor; Township Manager, Springfield Township

## Chapter 114. Zoning

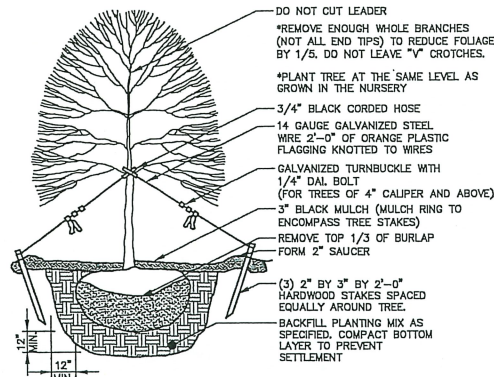
### Article XIII. General Regulations

#### § 114-135. Fences and walls.

[Amended 3-10-1965 by Ord. No. 521; 9-9-1987 by Ord. No. 750]

- A. Front yards. Fences located within the front yard shall not exceed four feet in height. However, a five-foot fence may be erected if set back 10 feet from the property line, curb or edge of paving, whichever creates the greatest setback. In addition, a six-foot fence may be erected if set back 15 feet from the property line, curb or edge of paving, whichever creates the greatest setback.
- B. Side and rear yards. Fences located within the side or rear yards shall not exceed six feet in height.
- C. Exceptions. Where any ordinance or ordinances of the Township or regulations thereunder now in effect or hereafter passed or promulgated shall require a fence of a different height or nature than herein specified, for special situations, such other ordinance or ordinances or regulations thereunder shall control rather than the provisions of this section.<sup>[1]</sup> The provisions of this section shall not pertain to retaining walls or walls of a building. No fence may be erected or maintained which creates a safety hazard as determined by the Springfield Township Police Department.

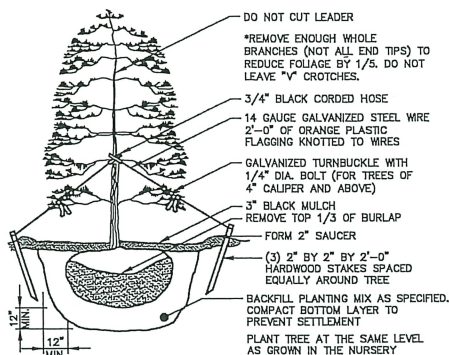
[1] *Editor's Note: See Ch. 29, Excavations, Art. I, Fencing; Ch. 98, Swimming Pools; and Ch. 105, Vehicles, Abandoned and repairable; Junkyards, for other ordinances containing fencing requirements.*



DO NOT CUT LEADER  
 REMOVE ENOUGH WHOLE BRANCHES (NOT ALL END TIPS) TO REDUCE FOLIAGE BY 1/5. DO NOT LEAVE "V" CROTCHES.  
 PLANT TREE AT THE SAME LEVEL AS GROWN IN THE NURSERY  
 3/4" BLACK CORDED HOSE  
 14 GAUGE GALVANIZED STEEL WIRE 2'-0" OF ORANGE PLASTIC FLAGGING KNOTTED TO WIRES  
 GALVANIZED TURNBUCKLE WITH 1/4" DIA. BOLT (FOR TREES OF 4" CALIPER AND ABOVE)  
 3" BLACK MULCH (MULCH RING TO ENCOMPASS TREE STAKES)  
 REMOVE TOP 1/3 OF BURLAP FORM 2" SAUCER  
 (3) 2" BY 3" BY 2'-0" HARDWOOD STAKES SPACED EQUALLY AROUND TREE  
 BACKFILL PLANTING MIX AS SPECIFIED. COMPACT BOTTOM LAYER TO PREVENT SETTLEMENT  
 PLANT TREE AT THE SAME LEVEL AS GROWN IN THE NURSERY

CONTRACTOR SHALL SPRAY ALL NEW PLANT MATERIAL WITH DEEROUT (REFER TO WWW.DEEROUT.COM) OR APPROVED EQUIVALENT, ON A MONTHLY BASIS BEGINNING ON THE DAY OF EACH PLANTING LASTING THROUGHOUT THE GUARANTEE PERIOD. FURTHERMORE ALL TREES SHALL BE FITTED WITH A FLEXIBLE OPEN AIR MESH, 46" HIGH, TO DETER DEER RUB.

1 DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE



DO NOT CUT LEADER  
 REMOVE ENOUGH WHOLE BRANCHES (NOT ALL END TIPS) TO REDUCE FOLIAGE BY 1/5. DO NOT LEAVE "V" CROTCHES.  
 PLANT TREE AT THE SAME LEVEL AS GROWN IN THE NURSERY  
 3/4" BLACK CORDED HOSE  
 14 GAUGE GALVANIZED STEEL WIRE 2'-0" OF ORANGE PLASTIC FLAGGING KNOTTED TO WIRES  
 GALVANIZED TURNBUCKLE WITH 1/4" DIA. BOLT (FOR TREES OF 4" CALIPER AND ABOVE)  
 3" BLACK MULCH (MULCH RING TO ENCOMPASS TREE STAKES)  
 REMOVE TOP 1/3 OF BURLAP FORM 2" SAUCER  
 (3) 2" BY 3" BY 2'-0" HARDWOOD STAKES SPACED EQUALLY AROUND TREE  
 BACKFILL PLANTING MIX AS SPECIFIED. COMPACT BOTTOM LAYER TO PREVENT SETTLEMENT  
 PLANT TREE AT THE SAME LEVEL AS GROWN IN THE NURSERY

CONTRACTOR SHALL SPRAY ALL NEW PLANT MATERIAL WITH DEEROUT (REFER TO WWW.DEEROUT.COM) OR APPROVED EQUIVALENT, ON A MONTHLY BASIS BEGINNING ON THE DAY OF EACH PLANTING LASTING THROUGHOUT THE GUARANTEE PERIOD. FURTHERMORE ALL TREES SHALL BE FITTED WITH A FLEXIBLE OPEN AIR MESH, 46" HIGH, TO DETER DEER RUB.

2 EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

TREE REMOVAL LIST

LOT 1	QTY	DBH	Evergreen/Deciduous
	1	6"	Deciduous
	1	8"	Deciduous
	1	9"	Deciduous
	2	10"	Deciduous
	1	10"	Evergreen
	1	12"	Deciduous
	1	12"	Evergreen
	1	14"	Evergreen
	1	15"	Evergreen
	2	16"	Evergreen
	1	29"	Evergreen
TOTAL	13		

LOT 2	QTY	DBH	Evergreen/Deciduous
	4	6"	Deciduous
	1	8"	Deciduous
	2	10"	Deciduous
	1	17"	Evergreen
	1	17"	Deciduous
	1	22"	Evergreen
	1	22"	Evergreen
	1	31"	Deciduous
TOTAL	12		

TREE REPLACEMENT

PER SECTION 05-11.1(1)(c) OF THE SPRINGFIELD TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCES IN THE EVENT THAT A TREE OVER THREE INCHES IN CALIPER MUST BE REMOVED FOR REASONS STATED IN SUBSECTION (1)(1)(A)(4) SAID TREES SHALL BE REPLACED WITH APPROVED TREES OF TWO TO 2 1/2 INCHES CALIPER AT A RATE OF TWO NEW TREES TO EACH ONE TREE REMOVED.  
 (1)(1)(A)(4) THERE EXISTS AN APPROVED LAND DEVELOPMENT PLAN SHOWING LANDSCAPE MATERIAL TO BE RETAINED OR REMOVED. TREE REMOVAL PURSUANT TO SUCH A PLAN SHALL BE LIMITED TO THOSE TREES WITHIN 15 FEET OF A PROPOSED STRUCTURE, SIX FEET OF A PROPOSED IMPERVIOUS SURFACE OR AN AREA TO BE GRADED PURSUANT TO AN APPROVED GRADING PLAN.

LOT 1	TOTAL TREES REMOVED OVER 24" DBH	QTY	DBH CAL (IN)
	13		
		6	
		7	
REPLACEMENT REQ (2 x # REMOVED)		26	2-2 1/2" DBH
		12	2-2 1/2" DBH
		14	6" H B&B

LOT 2	TOTAL TREES REMOVED OVER 24" DBH	QTY	DBH CAL (IN)
	12		
		9	
		3	
REPLACEMENT REQ (2 x # REMOVED)		24	2-2 1/2" DBH
		18	2-2 1/2" DBH
		6	6" H B&B

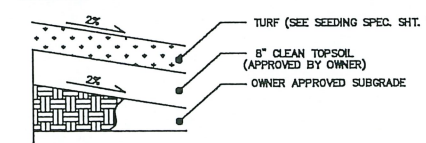
PLANTING SCHEDULE

SYM.	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES:				
AR	6	ACER RUBRUM	RED MAPLE	2-2 1/2" DBH CAL B&B
CF	7	CORNUS FLORIDA	FLOWERING DOGWOOD	2-2 1/2" DBH CAL B&B
LI	10	LAGERSTROEMIA INDICA	CREPE MYRTLE	2-2 1/2" DBH CAL B&B
PS	20	PICEA SPECIES	SPRUCE SPECIES	8" HIGH B&B
CC	7	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" DBH CAL B&B

CERTIFICATION

I, MICHELLE N. BLYNT, POSSESSING A BACHELOR'S DEGREE IN LANDSCAPE ARCHITECTURE, HEREBY CERTIFY THAT THIS PLAN REPRESENTS AN ACCURATE DEPICTION OF THE LANDSCAPING OF THE SUBJECT PARCEL.  
 SIGNATURE  
 DATE

ALL DISTURBED AREAS SHALL BE GRADED, TOPSOILED, RAKED & SEEDED AS FOLLOWS:



3 SEEDING SPECIFICATIONS NOT TO SCALE

SIGHT DISTANCE

PER PADOT TITLE 87, CHAPTER 441.  
 $SSSD = 1.47Vt + \frac{V^2}{30(g \pm g)}$   
 $SSSD = \text{MINIMUM SAFE STOPPING SIGHT DISTANCE (FEET)}$   
 $V = \text{VELOCITY OF VEHICLE (45 MILES PER HOUR)}$   
 $t = \text{PERCEPTION TIME OF MOTORIST (AVG. = 2.5 SECONDS)}$   
 $f = \text{WET FRICTION OF PAVEMENT (AVG. = 0.30)}$   
 $g = \text{PERCENT GRADE OF ROADWAY DIVIDED BY 100}$   
 $SSSD = 1.47(25)(2.5) + \frac{25^2}{30(.30 \pm .0100)} = 92 \text{ FT. REQ.}$   
 PROVIDED SSSD RIGHT = 150 FT.

Trees removed during demolition. Contractor shall provide three (3) additional trees as substitutes, chosen from the planting schedule and placed in the vicinity of the former tree.

1. ALL SIGHT DISTANCE OBSTRUCTIONS (INCLUDING BUT NOT LIMITED TO EMBANKMENTS AND VEGETATION) SHALL BE REMOVED BY THE PERMITEE TO PROVIDE A MINIMUM OF 580 FEET OF SIGHT DISTANCE TO THE RIGHT AND 330 FEET OF SIGHT DISTANCE TO THE LEFT FOR A DRIVER EXITING THE ALTERED EXISTING DRIVEWAY ONTO SKIPPAK PIKE (S.R. 0073). THE DRIVER MUST BE CONSIDERED TO BE POSITIONED TEN FEET FROM THE NEAR EDGE OF THE CLOSEST HIGHWAY TRAVEL LANE (FROM THE CURBLINE IF CURBING IS PRESENT) AT AN EYE HEIGHT OF THREE FEET SIX INCHES (3'-6") ABOVE THE PAVEMENT SURFACE. THE POINT SIGHTED BY THE EXITING DRIVER SHALL BE THREE FEET SIX INCHES (3'-6") ABOVE THE PAVEMENT SURFACE LOCATED IN THE CENTER OF THE CLOSEST HIGHWAY TRAVEL LANE DESIGNATED FOR USE BY APPROACHING TRAFFIC. THIS SIGHT DISTANCE SHALL BE MAINTAINED BY THE PERMITEE.
2. ALL EXISTING PAVEMENT MARKINGS WHICH NO LONGER APPROPRIATE SHALL BE ERADICATED BY THE PERMITEE. THE PERMITEE SHALL PLACE ALL REQUIRED NEW PAVEMENT MARKINGS.
3. MAINTENANCE AND PROTECTION OF TRAFFIC DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE FIGURES 102, 107, 201, AND 501 IN PENNDOT PUBLICATION 213, "WORK ZONE TRAFFIC CONTROL", JUNE 2014, OR MOST CURRENT.
4. IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND SUCCESSIVE PROPERTY OWNERS TO ENSURE ALL SIGHT TRIANGLES SHALL REMAIN CLEAR OF PLANTINGS AND ARCHITECTURAL ELEMENTS THAT WOULD OBSTRUCT A DRIVER'S LINE OF SIGHT.

SIGHTLINE CLEARING NOTES

1. THE APPLICANT PROPOSES HERewith, THE IMPROVEMENT TO AN EXISTING PRIVATE DRIVE - INCLUDING CURBS, DRIVE WIDTH, ADDITIONAL TAPER, SIGNAGE & STRIPPING. THE EXISTING PAVEMENT AND BASE WILL ALSO BE REPLACED.
2. ALL WORK IN PA STATE HIGHWAY RIGHT-OF-WAY IS TO BE PERFORMED CONSISTENT WITH MOST RECENT EDITION OF THE FOLLOWING:
  - a. PUBLICATION NO. 408, SPECIFICATIONS.
  - b. PUBLICATION NO. 35, APPROVED CONSTRUCTION MATERIALS (BULLETIN 15).
  - c. PUBLICATION NO. 72, STANDARDS FOR ROADWAY CONSTRUCTION.
  - d. PUBLICATION NO. 111M, TRAFFIC CONTROL-PAVEMENT MARKINGS AND SIGNING STANDARDS
  - e. PUBLICATION NO. 213, TEMPORARY TRAFFIC CONTROL GUIDELINES.
3. NO TRAFFIC RESTRICTIONS OR LANE CLOSURES ARE PERMITTED ON LEGAL HOLIDAYS AND/OR BETWEEN THE HOURS OF 8:00 AM TO 9:00 AM AND 3:00 PM TO 8:00 PM, MONDAY THROUGH FRIDAY.
4. CONTRACTOR SHALL PROVIDE PAVEMENT MARKINGS AS IDENTIFIED ON THIS PLAN. ALL PROPOSED PAVEMENT MARKINGS MUST BE IN COMPLIANCE WITH PADOT SPECIFICATIONS 408 AS LAST REVISED.
5. NO UTILITY WORK IS PROPOSED ON THIS PLAN WITHIN THE PENNDOT S.R.0073 RIGHT OF WAY.
6. THE PERMITEE MUST CONTACT THE PENNSYLVANIA ONE-CALL SYSTEM AT 1-800-242-1778 AT LEAST THREE WORKING DAYS PRIOR TO THE START OF EXCAVATION OR DEMOLITION WORK TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE WORK AREA.
7. ALL PAVEMENT MARKINGS OTHER THAN LONGITUDINAL LINES TO BE HOT THERMOPLASTIC.
8. PAVEMENT MARKING PLACEMENT ON THE STATE ROUTE 0073 SHALL COMPLY WITH PENNDOT TC-8800 DATED JUNE 23, 2009.

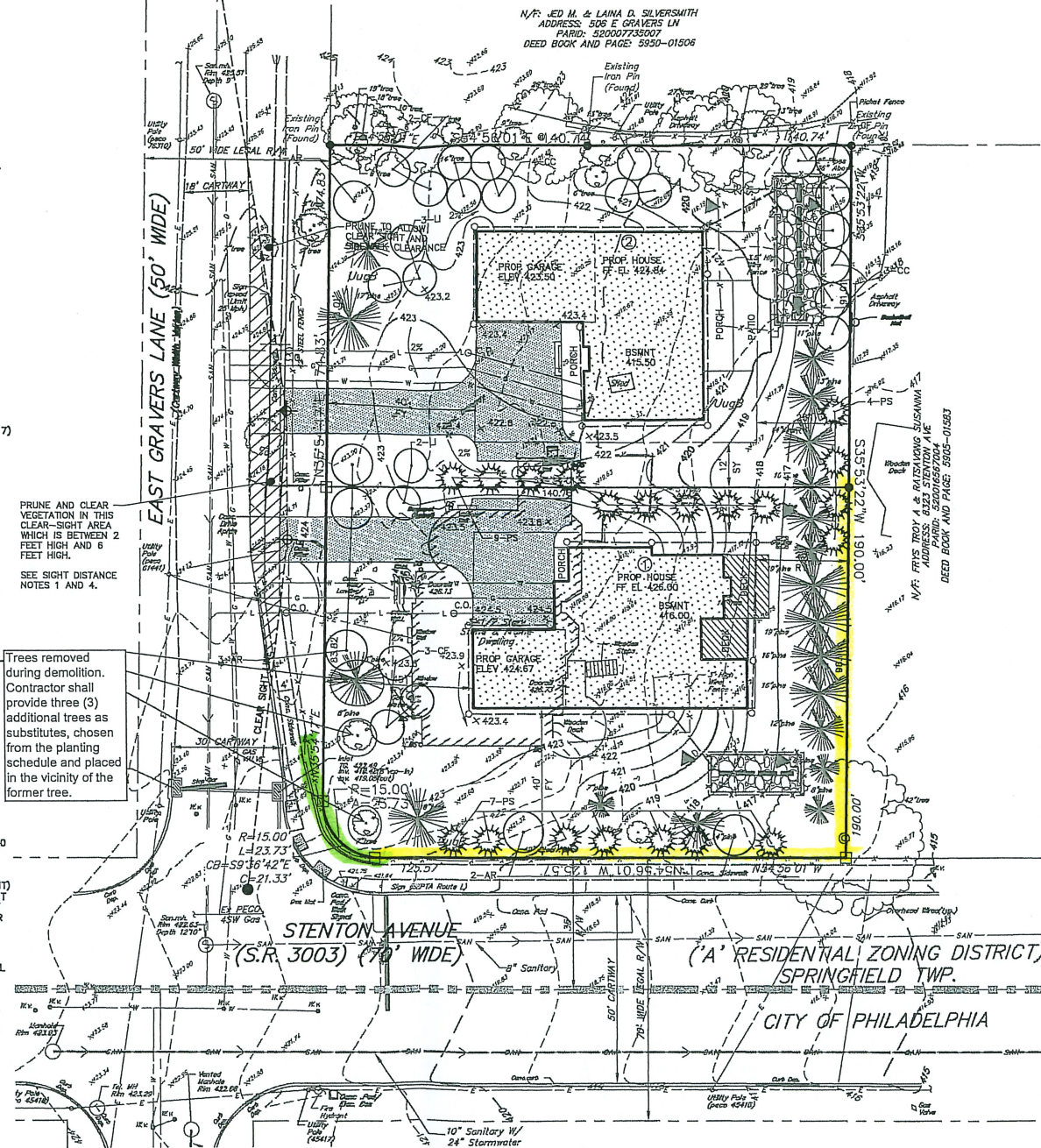
APPLICABLE RC AND TC STANDARDS

STANDARDS FOR ROADWAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE DRAWING NO. RC-28M AND RC-84M IN PENNDOT PUBLICATION 72M, JUNE 2010, OR MOST CURRENT.  
 STANDARDS FOR TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE DRAWING NO. TC-8800, SHEET 3 OF 13 IN PENNDOT PUBLICATION 111M, JUNE 2013, OR MOST CURRENT.

PA ONE CALL



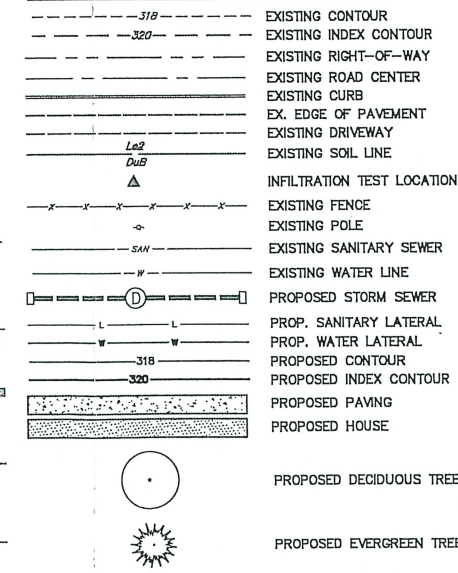
LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM UTILITY COMPANY RECORDS AND/OR ABOVE-GROUND INSPECTION OF THE SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND FACILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF THE PENNSYLVANIA LEGISLATIVE ACT 121, AS PER THE LATEST AMENDMENT OF PA ACT 287 OF 1974, EFFECTIVE OCTOBER 9, 2008, CONTRACTORS MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO START OF WORK. SERIAL NUMBER 20173406523.



PLANTING NOTES

1. THE LOCATIONS OF PLANT MATERIAL SHOWN ON THIS PLAN ARE APPROXIMATE. EXACT LOCATION OF PLANT MATERIAL SHALL BE STAKED IN THE FIELD BY THE LANDSCAPE CONTRACTOR AND LOCATIONS APPROVED BY OWNER.
2. LANDSCAPE PLANS SHALL NOT BE UTILIZED TO DETERMINE LOCATIONS, DIMENSIONS OR MEASUREMENTS OF OTHER PROPOSED SITE STRUCTURES. REFER TO APPROPRIATE DRAWINGS BY THE ENGINEER FOR OTHER INFORMATION.
3. PLANT NAMES SHALL AGREE WITH THE NOMENCLATURE "STANDARD PLANT NAMES" AS ADOPTED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE.
4. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL HAVE WELL DEVELOPED BRANCHES, AND VIGOROUS FIBROUS ROOT SYSTEMS. THEY SHALL BE FREE FROM DISFIGURING KNOTS, SUN SCALE, INJURIES, ABRASIONS OF BARK, PLANT DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL COLLECTED MATERIAL SHALL BE CLEAN, SOUND STOCK, AND FREE FROM DECAYING STUMPS.
5. SIZE AND GRADING STANDARDS SHALL CONFORM TO THE "U.S.A. STANDARD FOR NURSERY STOCK", LOOSE, BROKEN, OR MANUFACTURED BALLS WILL BE REJECTED.
6. BALLED AND BURLAPED, AND BALLED AND PLATFORM PLANTS, SHALL HAVE SOLID BALL OF EARTH SECURELY HELD IN PLACE BY BURLAP AND STOUT ROPE. MINIMUM BALL SIZES SHALL BE SPECIFIED IN THE "U.S.A. STANDARD FOR NURSERY STOCK" AS SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
7. PLANTING SHALL BE CONDUCTED UNDER SEASONS WHICH ARE NORMAL FOR SUCH WORK. AT THE OPTION AND ON THE FULL RESPONSIBILITY OF THE CONTRACTOR, PLANTING OPERATIONS MAY BE CONDUCTED UNDER UNREASONABLE CONDITIONS. IN GENERAL, PLANTING DURING THE FOLLOWING SEASONS UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT:
  - a. DECIDUOUS TREES AND SHRUBS: WHEN PLANTS ARE DORMANT (FALL AND EARLY SPRING).
  - b. BROADLEAF EVERGREEN TREES AND SHRUBS: FROM THE TIME THE FROST LEAVES THE GROUND UNTIL NEW GROWTH IS WELL DEVELOPED. (SPRING)
  - c. CONIFER TREES AND SHRUBS: AFTER THE DANGER OF FROST HAS PAST. (SPRING UNTIL EARLY SUMMER)
8. PROVIDE CONTINUOUS TRIPLE-SHREDDED HARDWOOD BARK (3" THICK) AT THE BASE OF THE SPECIMEN TREES AND SHRUBS AND IN ALL PLANTING BEDS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHERE THE UNDERGROUND UTILITIES EXIST ON-SITE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING NEAR THESE UTILITIES.
10. ALL DISTURBED PERVIOUS AREAS EXCEPT PLANTING BEDS SHALL BE SEEDED AND MULCHED.
11. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES. IN ADDITION, THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO COMMENCING WORK TO REVIEW THE EXISTING CONDITIONS. NOTIFY THE LANDSCAPE ARCHITECT AND THE TOWNSHIP ENGINEER OF ANY MAJOR DISCREPANCIES WHICH AFFECT THE WORK.
12. SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANT SCHEDULE, THE PLAN SHOULD GOVERN AS TO THE QUANTITY OF PLANT MATERIAL.
13. STREET TREES AND OTHER REQUIRED PLANT MATERIAL SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING OF THE LAND DEVELOPMENT HAS BEEN COMPLETED.
14. THE BEGINNING OF THE GUARANTEE PERIOD SHALL START AFTER THE ACCEPTANCE AT THE FINAL INSPECTION. ALL PLANTING MUST BE ALIVE AND HEALTHY TO BE CONSIDERED COMPLETE. PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR FOR A 18-MONTH PERIOD.

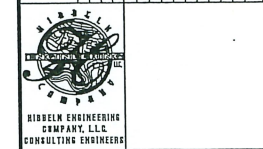
LEGEND



HIBBEL ENGINEERING COMPANY, L.L.C.  
 CONSULTING ENGINEERS  
 215-619-9070 PA, NJ, MD & DE  
 593 Skippack Pike, Suite 300  
 Blue Bell, Pennsylvania 19422  
 www.hibbelengineering.com

500 EAST GRAVERS LANE  
 PREPARED FOR  
**JWS GRAVERS, LLC**  
 SITE SITUATE IN  
 SPRINGFIELD TOWNSHIP  
 MONTGOMERY COUNTY

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS		
2	REVISED PER TOWNSHIP LETTER 10/24/2010	OCTOBER 17, 2010	MB
3	REVISED PER TOWNSHIP LETTER 02/29/2010	SEPTEMBER 14, 2010	MB
4	REVISED PER TOWNSHIP LETTER 02/25/2010		
5	REVISED PER TOWNSHIP LETTER 02/11/2010		
6	REVISED PER TOWNSHIP LETTER 02/09/2010		
7	REVISED PER TOWNSHIP LETTER 02/05/2010		
8	REVISED PER TOWNSHIP LETTER 02/04/2010		
9	REVISED PER TOWNSHIP LETTER 02/04/2010		
10	REVISED PER TOWNSHIP LETTER 02/04/2010		



LANDSCAPE PLAN

500 EAST GRAVERS LANE  
 SITE SITUATE IN  
 SPRINGFIELD TOWNSHIP  
 MONTGOMERY COUNTY, PA

PROJECT MANAGER: MB	DRAFTED BY: MB
PROJECT NUMBER: 15180	DRAWING FILE: 15180_SHT06
PLAN SCALE: 1"=20'	PLAN SHEET NUMBER: 6 OF 8
GRAPHIC SCALE 0' 10' 20' 40'	



# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org)

Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

James M. Lee  
*President*

Baird M. Standish  
*Vice President*

Peter D. Wilson  
Eddie T. Graham  
Michael E. Maxwell  
Jonathan C. Cobb  
Susanna O. Ratsavong

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Joelle Kleinman  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

## Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

**Monday, April 24, 2023**, at 7:00 p.m. at which time a public meeting will commence on the following application:

**Case #23-08:** This is the application of **John F. Murray Funeral Home**, owner of property located at 1220 Bethlehem Pike, Flourtown, PA 19031 known as Parcel #5200-0179-8004 & Parcel #5200-0180-1001. The applicants have requested a variance from Section 114-94. A. of the Springfield Township Zoning Ordinance to allow the front yard setback from Bethlehem Pike to be reduced from 20 feet in depth to 17.14 feet. In addition, a variance has been requested to reduce the front yard setback from Jones Avenue from the existing 10.31 feet to 5.15 feet in depth. A variance from Section 114-95 of the Zoning Ordinance has been requested to eliminate the landscaped buffer required to be installed along the rear and side property lines and street trees required to be planted along the frontage of both Bethlehem Pike & Jones Avenue. The applicant has requested a variance from Section 114-134. A.8. of the Zoning Ordinance for the required on-site parking. The site is required to have 67 parking stalls and provides 13 on-site parking stalls. The applicant has requested confirmation that the use of the property as a Funeral Home is a permitted use with the B-1 Business District. The property is located within Ward #1 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township  
Zoning Hearing Board  
Mark A. Penecale  
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD  
MONTGOMERY COUNTY  
1510 PAPER MILL ROAD  
WYNDMOOR, PA 19038

NO. 23-08

DATE: 3/24/2024  
~~3/20/2~~

PETITION

**SPRINGFIELD TOWNSHIP ZONING HEARING BOARD**

We John F. Murray Funeral Home

(Name of Applicant)

Of (Address) 1220 Bethlehem Pike, Flourtown PA 19031

(Telephone No.) (215) 704-2586

do hereby make application before the Springfield Township Zoning Hearing Board to request:

       An **appeal** from the decision of the Zoning/Building Official.

       A **special exception** as provided for in Article       , Section       ,  
Subsection       , of the Springfield Township Zoning Code.

       A **variance** from the requirements set forth in Article       , Section       ,  
Subsection       , of the Springfield Township Zoning Code.

Other (please specify) See attachment for list of variances requested.

The property concerned is located at 1220 Bethlehem Pike, Flourtown PA 19031.

Petitioner's Interest in the property is business owner and resident.

Present use of property Funeral Home and Residence

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

See attachment.

---

---

---

---

---

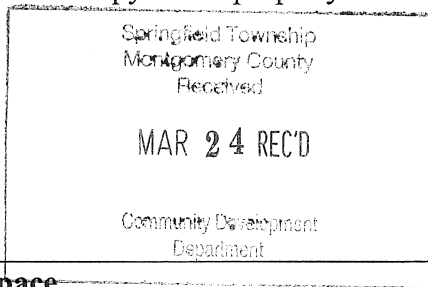
---

---

---

**APPLICANT NOTE:** Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

Case #23-08  
check # 5712  
\$1200.00



*[Handwritten Signature]*  
Applicant's Signature

*[Handwritten Signature]*  
Owner's Signature

**Do not write in this space.**

Petition granted.

Petition refused.

The following special conditions are imposed.

---

---

---

By Order of the Zoning Hearing Board

---

---

---



Requesting the following:

- Confirm the Use is by-right and cremation is accessory use (if not, Special Exception as directed by Twp Staff)
- 114-134.A(8) – Variance from Required Parking
- 114-94.A – Variance to permit a 17.14’ front yard setback along Bethlehem Pike whereas 20’ is required & to permit 5.16’ front yard setback along Jones Avenue whereas 20’ is required.
- 114-95 – Variance to waive the landscape buffer between the properties
- 114-95 – Variance to permit 0 Street Trees along both Bethlehem Pike and Jones Ave.

As business member and resident at this location on Bethlehem Pike for 43 years, we are looking to expand on to our existing building to provide amenities to our client families and community members that the current building cannot offer though renovation alone.

We request relief from the require parking (114-134.A(8)) as we have an agreement with St. Genevieve Parish directly across the street for use of their parking lots during non-church service times. This arrangement provides for the necessary amount of parking to hold funeral services at our facility and requires no additional development. Additionally, most funerals are held at churches, and the day-to-day business of a funeral home does not require more than a few parking spaces which are provided on-site. Existing traffic patterns and access points remain unchanged with this relief.

We are asking for a variance to 114-94.A to permit a 17.14’ front yard setback along Bethlehem Pike whereas 20.0’ is required and to permit 5.16’ front yard setback along Jones Avenue whereas 20.0’ is required. The proposed building setback matches similar frontage on our block from the street and is consistent with the setback of other buildings along Bethlehem Pike in this neighborhood. With the hardship being at a corner and having two front yards, the front yard setback along the side of the build at Jones Avenue allows for maintaining the setback of an existing covered patio and enclose it within the building envelope at a similar size. Overall, these modifications are consistent to the surrounding area. The proposed building additions complement the residential character of the existing property, enhancing the neighborhood streetscape with a thriving business.

Additional request for a Variance to 114-95 to waive the landscape buffer between the properties at 1220 Bethlehem Pike and 1208 Bethlehem Pike to permit a shared driveway for access. We own both properties, and this is an existing non-conformity.

The final variance is a request from 114-95 for (zero) street trees along Bethlehem Pike and Jones Avenue. This is an existing non-conformity and is consistent with other properties in the surrounding area due to lack of adequate room between buildings and streets and the unfeasibility of trees at stone retaining walls and overhead power along Bethlehem Pike.

**TOWNSHIP OF SPRINGFIELD  
COMMUNITY DEVELOPMENT  
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE  
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

**Application Procedures**

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (**8**) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

## Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

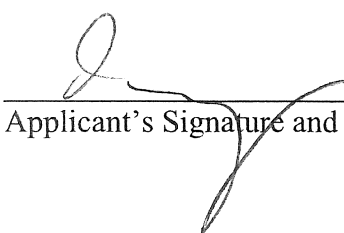
Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

**Dennis A. Murray**

Printed Name of Applicant

  
Applicant's Signature and Date

3/20/2022

# Deed

UPI # 52-00-01798-00-4 and 52-00-01801-00-1

Dennis A. Murray and Patricia A. Murray

TO

Dennis A. Murray, Jr. and Nicole L. Murray

H&H Settlement Services, LLC  
105 E. Glenside Avenue  
Suite E  
Glenside, PA 19038

Prepared by and Return to:

H&H Settlement Services, LLC  
105 E. Glenside Avenue  
Suite E  
Glenside, PA 19038

File No. HHS15282

UPI # 52-00-01798-00-4 and 52-00-01801-00-1

COPY

**This Indenture**, made the 30th day of June, 2015,

**Between**

**DENNIS A. MURRAY AND PATRICIA A. MURRAY, HUSBAND AND WIFE**

(hereinafter called the Grantors), of the one part, and

**DENNIS A. MURRAY, JR. AND NICOLE L. MURRAY, HUSBAND AND WIFE**

(hereinafter called the Grantees), of the other part,

**Witnesseth**, that the said Grantors for and in consideration of the sum of **Four Hundred Thousand And 00/100 Dollars (\$400,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, as tenants by the entirety

**PREMISES "A" - ALL THAT CERTAIN** messuage and lot of ground Situate in the Village of Flourtown, Springfield Township, County of Montgomery, Commonwealth of Pennsylvania, bounded and described in accordance with a recent survey thereof as follows, to wit;

BEGINNING at a hole in a cement step on the East side of Bethlehem Pike (formerly Chestnut Hill and Springhouse Turnpike Road) intended as a corner of this and other land now or late of Albert L. Jones, about to be conveyed to now or late Herbert L. Seddon; thence along said land, the line passing through the middle of the partition wall between dwelling houses upon this and the adjoining lot, about to be conveyed to Herbert L. Seddon, South 86 degrees 50 minutes East 152.69 feet to an iron pipe, a corner; thence along other lands of said Albert L. Jones, South 3 degrees 10 minutes West 25.40 feet to an iron pipe a corner; thence along lands of the Jacoby Estate, South 81 degrees 15 minutes West 155.50 feet to an iron pipe a corner on the East side of said Bethlehem Pike; thence along the east side thereof, North 3 degrees 10 minutes East 57.30 feet to the place of beginning.

BEING house # 1218 Bethlehem Pike.

BEING Parcel # 52-00-01798-00-4

BEING the same premises which Herbert L. Seddon, Jr, and Alice Seddon, his wife, by Indenture dated 11/15/1977 and recorded 11/17/1977 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 4257 page 499, granted and conveyed unto Dennis A. Murray and Patricia A. Murray his wife, in fee.

PERMISES "B" - ALL THAT CERTAIN message and lot of ground Situate in the Village of Flourtown, Springfield Township, County of Montgomery, Commonwealth of Pennsylvania, bounded and described in accordance with a recent survey thereof as follows, to wit;

BEGINNING at a hole in a cement step on the East side of Bethlehem Pike (formerly Chestnut Hill and Springhouse Turnpike Road), intended as a corner of this and other land now or late of Albert L. Jones, about to be conveyed to now or late Samuel S. Thomas; thence along the East side of Bethlehem Pike North 3 degrees 10 minutes East, 27.70 feet to an iron pipe, a corner thence along other land of said Albert L. Jones South 87 degrees 47 minutes East 152.70 feet to an iron pipe a corner, and South 3 degrees, 10 minutes 30.30 feet to an iron pipe a corner; and thence along other lands of said Albert L. Jones about to be conveyed to Samuel S. Thomas, the line passing through the middle of the partition wall between the dwelling houses erected upon this and the adjoining lot, North 86 degrees 50 minutes West, 152.69 feet to the place of beginning.

BEING Parcel # 52-00-01801-00-1

BEING the same premises which Mary Unruh Seddon Widow, by Indenture dated 11/15/1977 and recorded 11/17/1977 in the Office of the Recorder of Deeds in and for the County of Montgomery in Deed Book 4257 page 496, granted and conveyed unto Dennis A. Murray and Patricia A. Murray his wife, in fee.

THIS IS A TRANSFER FROM FATHER AND MOTHER TO SON AND DAUGHTER-IN-LAW AND IS THEREFORE EXEMPT FROM TRANSFER TAX

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against them, the said Grantors, and their heirs, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantors but not otherwise.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

Sealed and Delivered  
IN THE PRESENCE OF US:

\_\_\_\_\_  
\_\_\_\_\_

Dennis A. Murray {SEAL}  
Dennis A. Murray  
Patricia A. Murray {SEAL}  
Patricia A. Murray

Commonwealth of Pennsylvania } ss  
County of Montgomery

On this, the 30th day of June, 2015, before me, the undersigned Notary Public, personally appeared Dennis A. Murray and Patricia A. Murray, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal  
COMMONWEALTH OF PENNSYLVANIA

NOTARIAL SEAL  
HEATHER S. HAGERTY, Notary Public  
Abington Twp., Montgomery County, PA  
My Commission Expires February 20, 2018

Heather S. Hagerty  
Notary Public  
My commission expires \_\_\_\_\_

The precise residence and the complete post office address of the above-named Grantees is:

Heather S. Hagerty  
On behalf of the Grantees

**Section 114-91.**

D. Restaurant, tearoom, rooming house, boardinghouse, animal hospital, commercial greenhouse, florist shop, undertaking and embalming establishment, cemetery.

**Section 114-94.**

A. Front Yards:

(1) General requirement. There shall be a front yard, the depth of which shall be at least 20 feet.

[Amended 3-11-1970 by Ord. No. 591; 11-14-1973 by Ord. No. 625; 9-9-1987 by Ord. No. 750]

(2) Corner lots. In the case of a corner lot, a front yard, as provided for in Subsection A(1) above, shall be required on each side on which the lot abuts, provided that the front yard on either side of such lot may be decreased or dispensed with when authorized as a special exception.

**Section 114-95: Landscaping:**

For all land uses in the B1 Business District, buffers shall be provided along property boundaries, buffers or street trees shall be provided along all streets and all parking areas shall be landscaped, in accordance with the requirements of § **95-111** of Chapter **95**, Subdivision of Land. Existing landscape material may be used to meet these requirements.

Landscaping. The Board of Commissioners shall require, as a condition for approval of subdivisions and land developments, appropriate landscaping. This shall include but not be limited to side and rear boundaries, along streets and for off-street parking to soften visual impact and screen glare and to minimize noise and other threats to safety or the environment while preserving the aesthetic nature of the community.

[Added 10-8-1975 by Ord. No. 645; amended 7-8-1992 by Ord. No. 786]

(1) Subdivisions and land developments shall be required to provide landscape buffering along side and rear boundaries of the tract to be subdivided or developed except in the development of single-family detached residences.

(a) Types of buffers. Softening buffers are designed to soften visual impact of adjacent land uses. Screening buffers are designed to provide a more substantial visual barrier between conflicting land uses. The impact of the proposed use on adjacent properties is the basis for establishing buffer standards. The buffer type is subject to approval of the Board of Commissioners.



**(b)** Softening buffers shall have a minimum width of at least 15 feet. Screening buffers shall have a minimum width of at least 10 feet and a maximum width of 15 feet. In cases where zoning setback requirements for side or rear yards are narrower than the required buffer width, the buffer shall be the width of the actual side or rear yard or the required buffer width of the side or rear yard, whichever is less. Buffer areas may be considered as part of the required yard setback.

**(c)** Softening buffers shall provide an average one canopy tree, one understory tree and one evergreen tree per 35 feet. When consistent with the character of the neighborhood, plantings should be in naturalized clusters which soften the transition rather than form a solid barrier. Screening buffers will be used when the buffer width is 10 feet or less. These should include one canopy tree, one understory tree, four evergreen shrubs and four deciduous shrubs per 35 feet. Additional planting shall be required for each portion thereof exceeding the dimensions listed above. All trees and shrubs shall be selected from the recommended plant materials in Table I. The Board of Commissioners may permit other species if they are adapted to the area, are not generally subject to insects or diseases and are of the same general character and growth habit as those listed in Table I. All plant materials shall meet the standards of the American Association of Nurserymen.

**(d)** Buffers shall be located parallel to property or right-of-way boundaries but may be sited on any portion of the property if permitted by the Board of Commissioners.

**(e)** The buffer requirement may be wholly or partially waived by the Board of Commissioners if they determine that existing plantings, topography, increased setbacks or man-made structures provide adequate buffers.

**(2)** Street trees. Within any subdivision or land development, street trees shall be planted along new and existing streets.

**(a)** Street trees shall be planted within all front yard setbacks between 15 feet and 25 feet from the curb or edge of pavement, but in no case shall they be planted within the right-of-way. At intersections, trees shall be located no closer than 25 feet from the radius of the curb. Care should be taken to avoid eventual interference with overhead utilities.

**(b)** No less than one tree shall be provided for each 35 feet of street length or portion thereof. Trees shall be an approved species of canopy tree, as noted with an asterisk in Table I, and shall be installed pursuant to an approved landscape plan.

**(3)** Parking area landscaping. Except in single-family detached residences, all off-street parking areas and all loading areas shall be landscaped in accordance with the following standards:

**(a)** Perimeter landscaping. All parking and loading areas shall be landscaped with buffers along the front yard, as well as side and rear yard boundaries.

**(b)** Internal landscaping. All parking areas containing more than 10 spaces shall be landscaped in accordance with the following standard:

**[1]** For each 10 spaces or portions thereof, at least 500 square feet of planting area shall be provided in the form of landscaped islands, which shall contain at least two canopy trees, one understory tree, six shrubs and ground cover or mulch of 100%.

**[2]** The minimum square footage of any one island shall be 200 square feet, with a minimum width of six feet. All trees shall be drawn from the list of street trees marked with an asterisk in Table I. All plant materials shall meet the standards set forth in Subsection **[7]**.

**[3]** All landscape material within parking and loading areas shall be protected from injury due to vehicular encroachment by the use of berms, wheel stops, concrete curbs, bollards, railings and other similar devices.

**[4]** Parking area landscaping shall be designed so as not to obstruct or interfere with pedestrian circulation. For example, landscaped islands should not be placed between parking spaces and building entrances unless pedestrian walkways across these islands are provided.

**(5) Nonconforming buffers.**

**(a)** Where property boundary buffers or street buffers are nonexistent or nonconforming, such buffers shall be installed as a condition for permission to:

**[1]** Make a change in zoning district, when requested by property owner(s); or

**[2]** Expand an existing structure beyond 25% of gross square footage or 25% of lot coverage.

**(b)** The applicant shall conform to this chapter to the maximum extent possible. If the required minimum buffer width is not available, structural measures such as fences, walls or berms may be used in conjunction with landscape material, with the approval of the Board of Commissioners, to provide an equivalent degree of screening.

**Section 114-134:**

**(8).** Church, auditorium or other place of public assemblage. One parking space for every 50 square feet of total floor area.

# AS-BUILT

**HARTH**  
DESIGN • BUILD • REMODEL

HARTH BUILDERS  
ONE MILL RACE  
SPRING HOUSE, PA 19477  
PH: 215-654-0364  
HARTHBUILDERS.COM

DENNIS AND NIKKI MURRAY  
1220 BETHLEHEM PIKE  
FLOURTOWN, PA 19031

AS-BUILT BASEMENT, FIRST, AND SECOND FLOOR PLAN

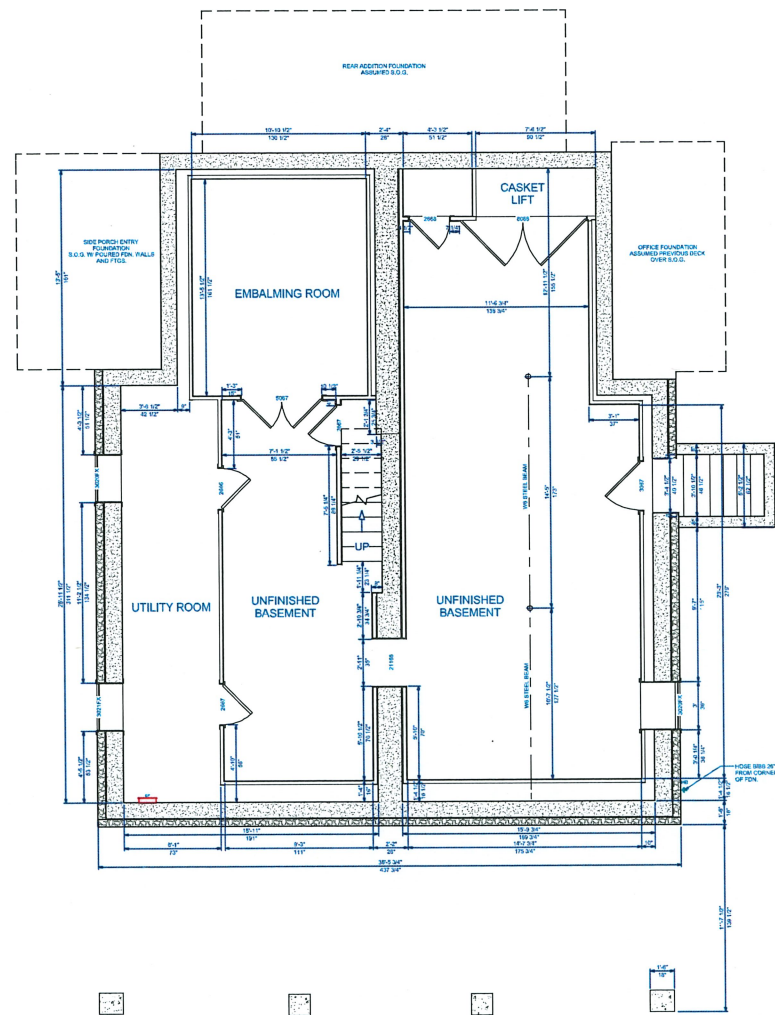
MURRAY DN

NORTH ARROW

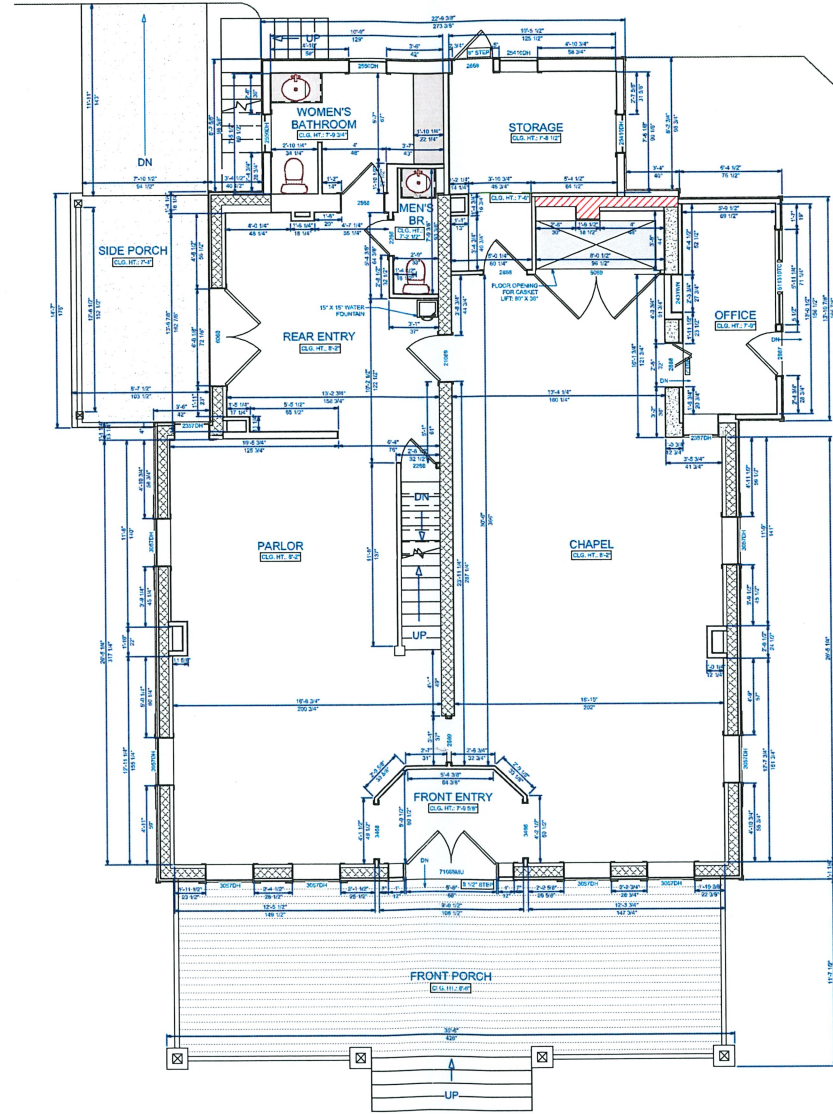


TWT	5	2302XX	TGJV
DM3	4	221219	TGJV
DM2	3	221114	TGJV
DM1	2	221013	TGJV
AS-BUILT	1	221003	TG
DESCP.	NO.	DATE	BY
SPRINGFIELD TOWNSHIP			

A3

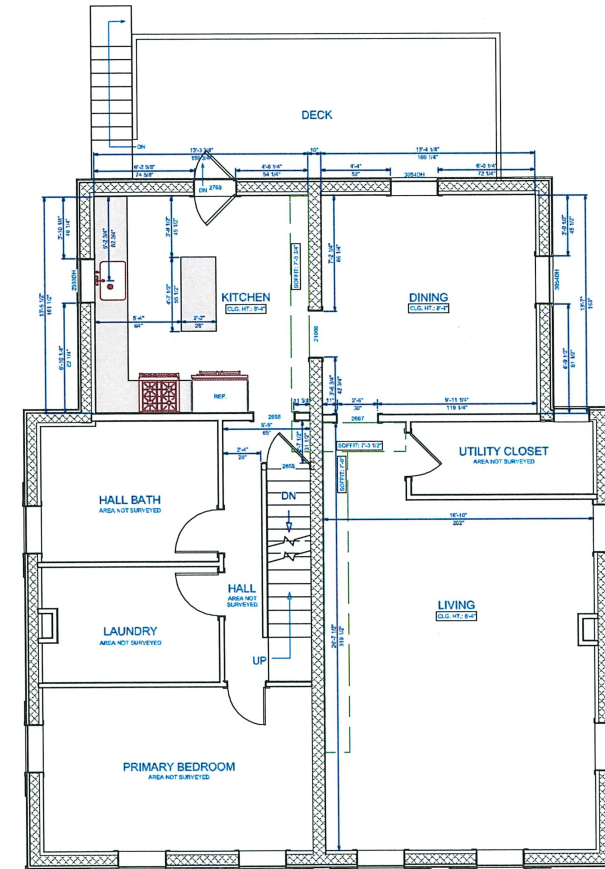


AS-BUILT BASEMENT PLAN  
SCALE: 3/16" = 1'-0"



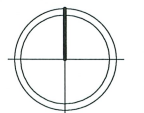
AS-BUILT FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"

# AS-BUILT

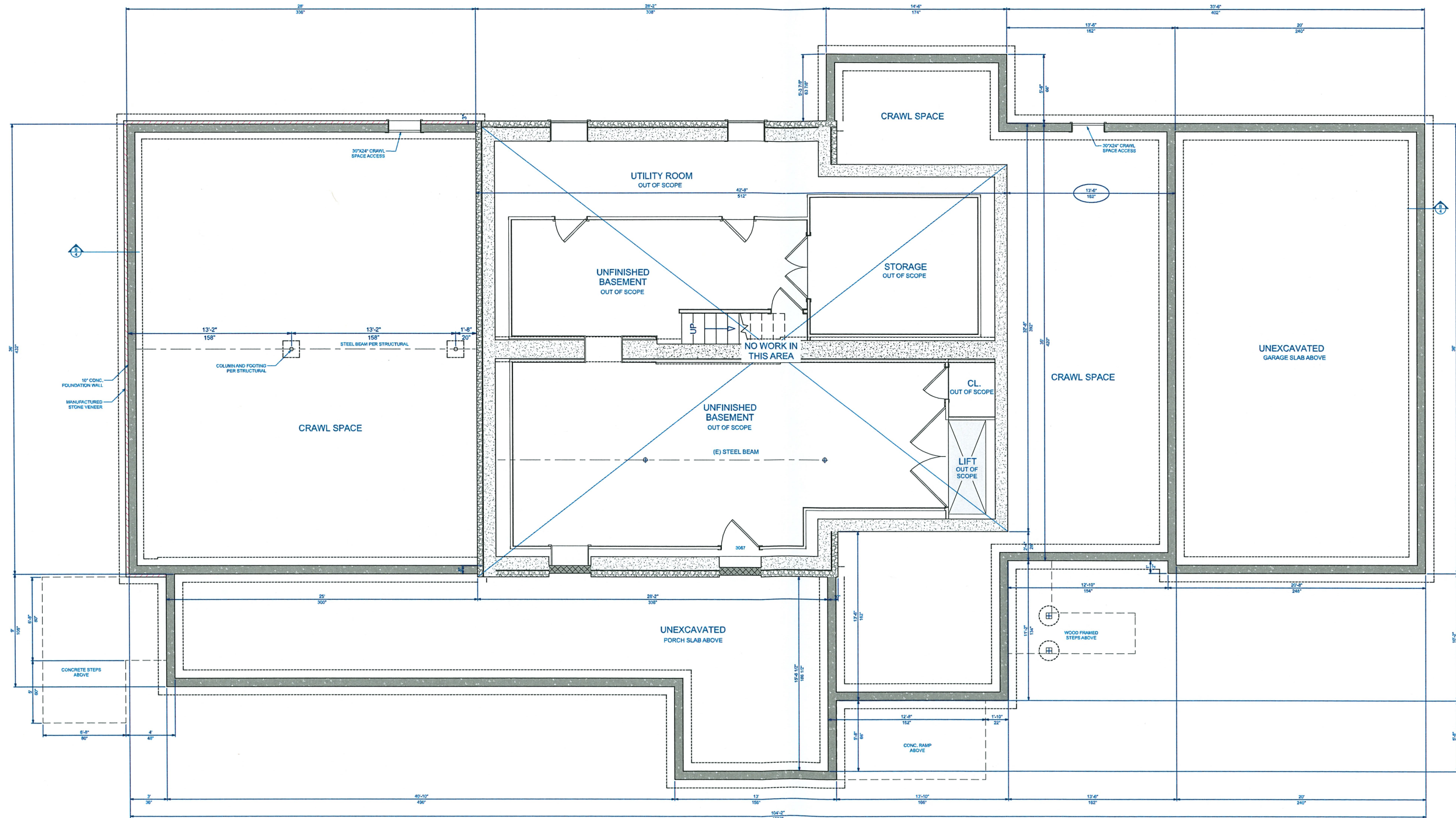


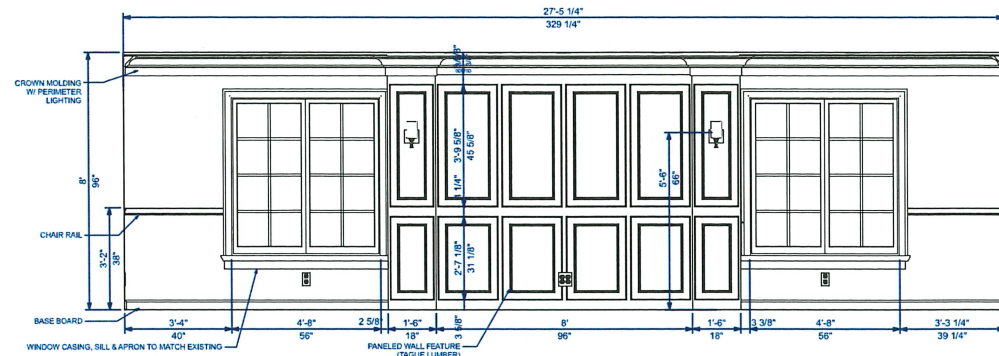
AS-BUILT SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

NOT FOR CONSTRUCTION

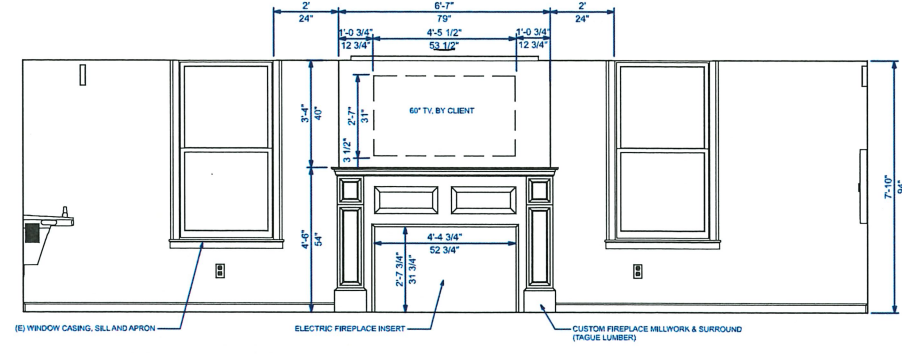


TWT	5	2302XX	TG/JV
DM3	4	221219	TG/JV
DM2	3	221114	TG/JV
DM1	2	221013	TG/JV
AS-BUILT	1	221003	TG
DESCP.	NO.	DATE	BY
SPRINGFIELD TOWNSHIP			

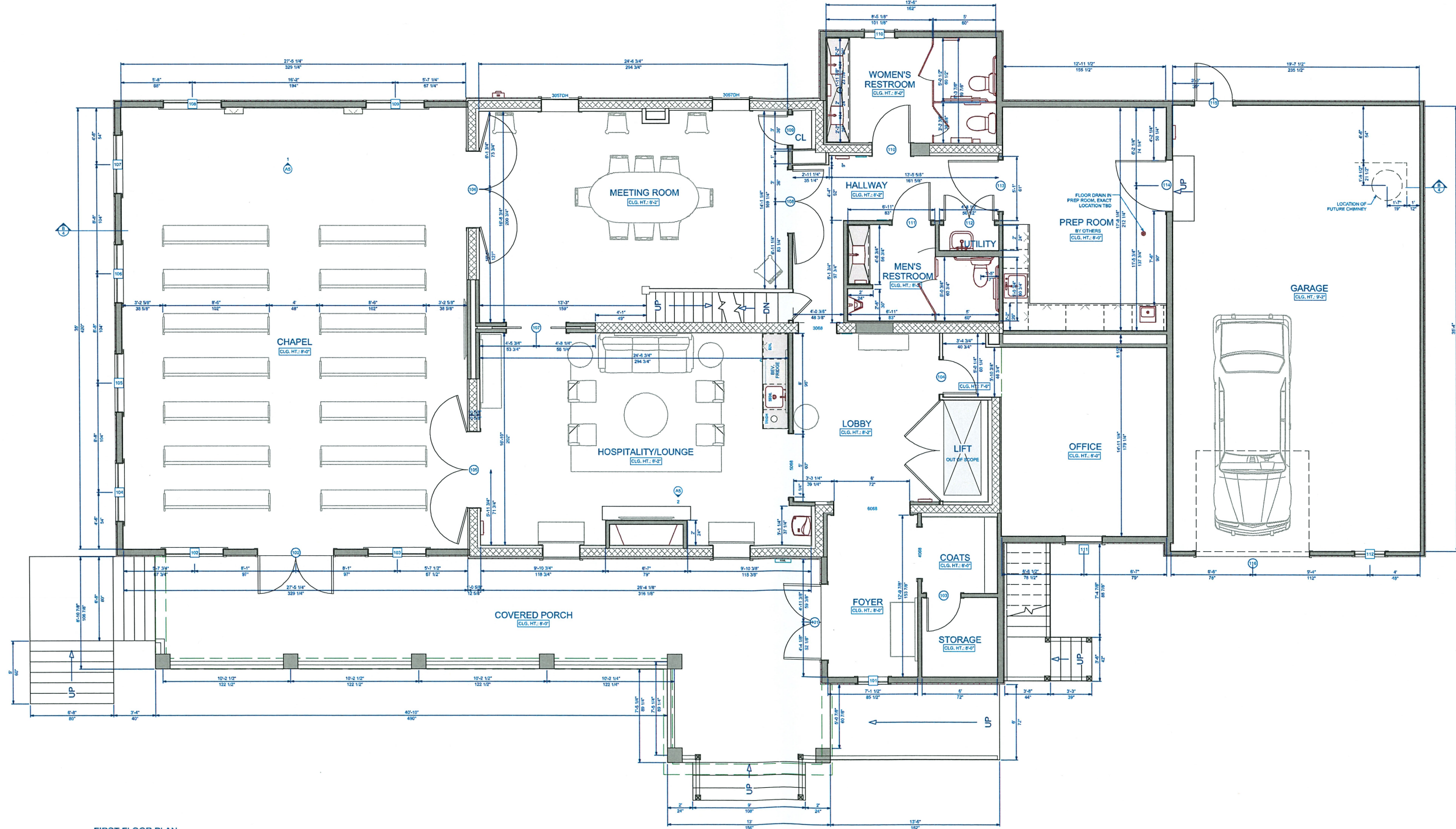




1 INTERIOR MILLWORK ELEVATION  
SCALE: 3/8" = 1'-0"



2 INTERIOR MILLWORK ELEVATION  
SCALE: 3/8" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**HARTH**  
DESIGN BUILD REMODEL

HARTH BUILDERS  
ONE MILL RACE  
SPRING HOUSE, PA 19477  
PH: 215-654-0364  
HARTHBUILDERS.COM

DENNIS AND NIKKI MURRAY  
1220 BETHLEHEM PIKE  
FLOURTOWN, PA 19031

FIRST FLOOR PLAN

MURRAY DN

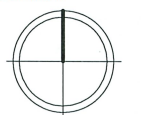
NORTH ARROW



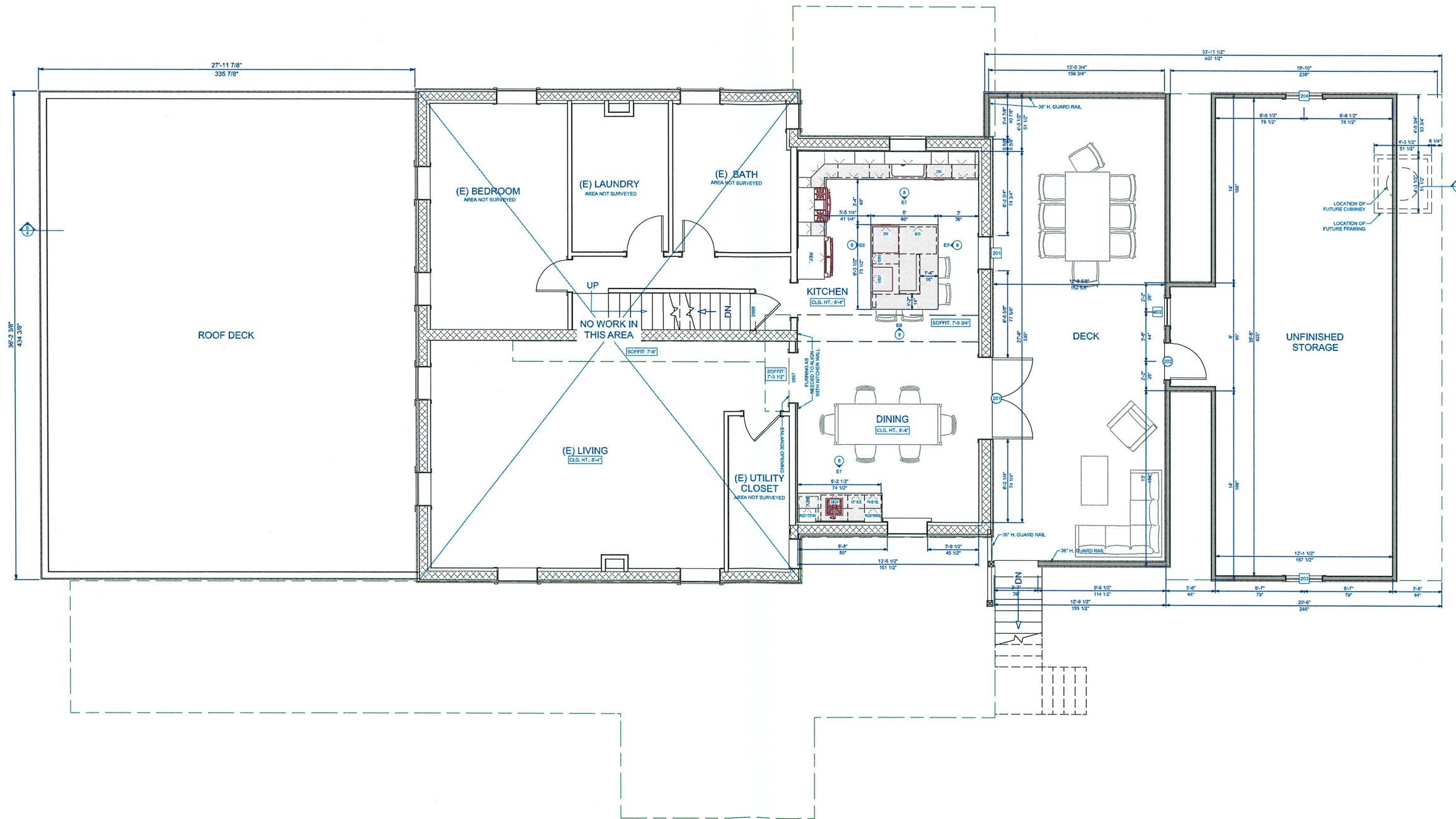
TWT	5	2302XX	TG/JV
DM3	4	221219	TG/JV
DM2	3	221114	TG/JV
DM1	2	221013	TG/JV
AS-BUILT	1	221003	TG
DESCP.	NO.	DATE	BY
SPRINGFIELD TOWNSHIP			

A5

NOT FOR CONSTRUCTION



TWT	5	2302XX	TG/JV
DM3	4	221219	TG/JV
DM2	3	221114	TG/JV
DM1	2	221013	TG/JV
AS-BUILT	1	221003	TG
DESCP.	NO.	DATE	BY
SPRINGFIELD TOWNSHIP			



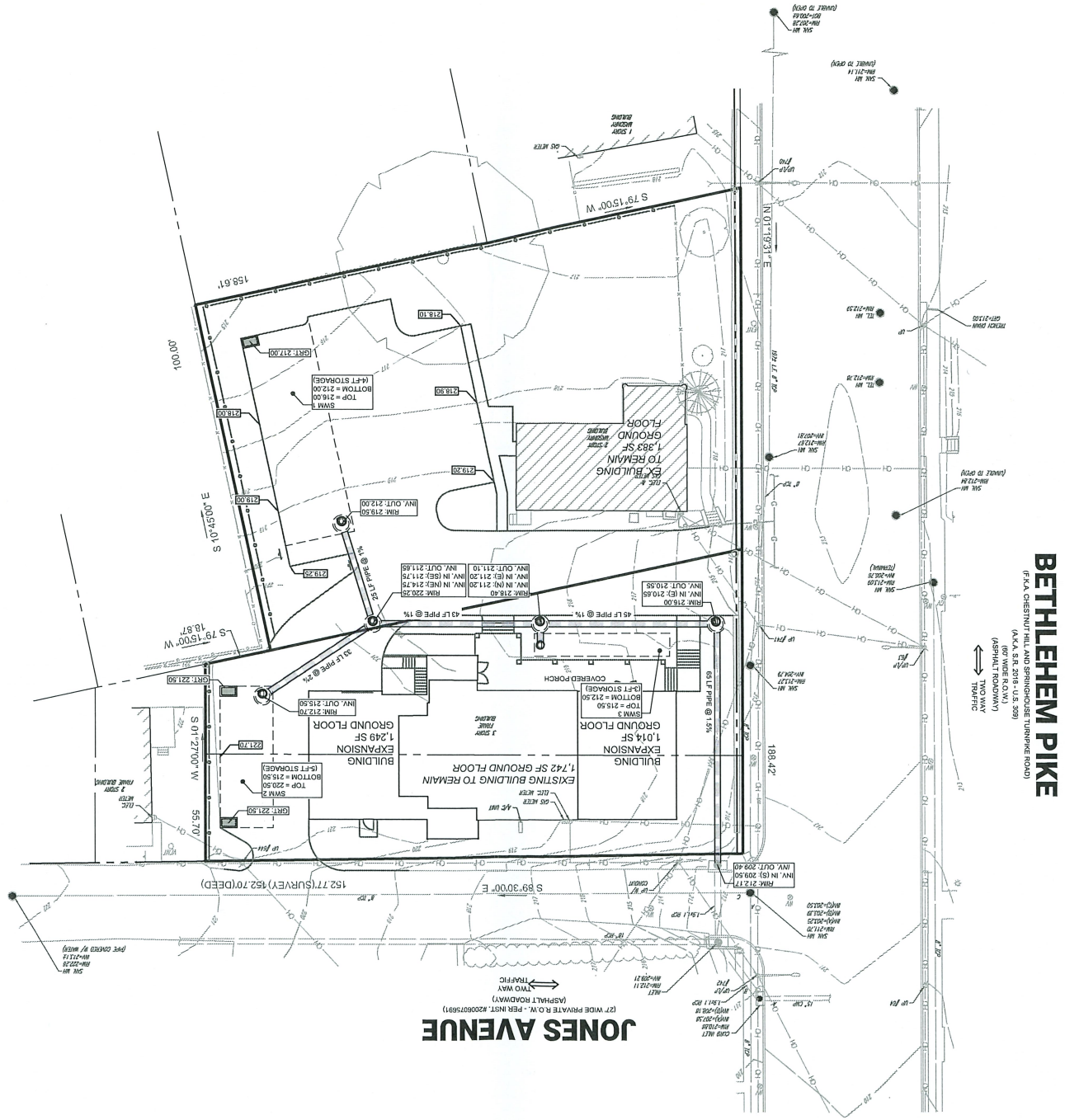
SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"





**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

THIS PLAN HAS BEEN PREPARED FOR GENERAL LAYOUT DISCUSSION PURPOSES ONLY AND IS BASED ON LIMITED DUE DILIGENCE AVAILABLE AT THE TIME OF PREPARATION.



**BETHLEHEM PIKE**  
(IF A CHESTNUT HILL AND SPRINGHOUSE (TURNPIKE ROAD)  
OR WIDE PRIVATE ROAD (SEE PLAN)  
DASHED LINE ROADWAY)  
TWO WAY TRAFFIC

**JONES AVENUE**  
(77 WIDE PRIVATE R.O.W. - PER INST. 2008078691)  
(DASHED LINE ROADWAY)  
TWO WAY TRAFFIC



SHEET 1

**CPT**

DATE 2023-02-09

PROJECT	PROPOSED FUNERAL HOME ADDITIONS / EXPANSION
APPLICANT	JOHN F. MURRAY FUNERAL HOME
TITLE	<b>CONCEPT PLAN F</b> <b>PRELIM. STORMWATER MANAGEMENT</b>

CHECKED BY AT

DRAWN BY TB

FILE CPT\_PRELIM GRD

PROJECT No. 200019

REV.	DATE	REVISION	BY
1	03-20-2023	PER 2ND APPLICATION	TB

NOT FOR CONSTRUCTION



**LANDCORE**

PO BOX 37635 556287  
PHILADELPHIA, PENNSYLVANIA 19101-0635

PHONE 215-436-2510  
LANDCORECONSULTING.COM

6

5

4

3

2

1

A

B

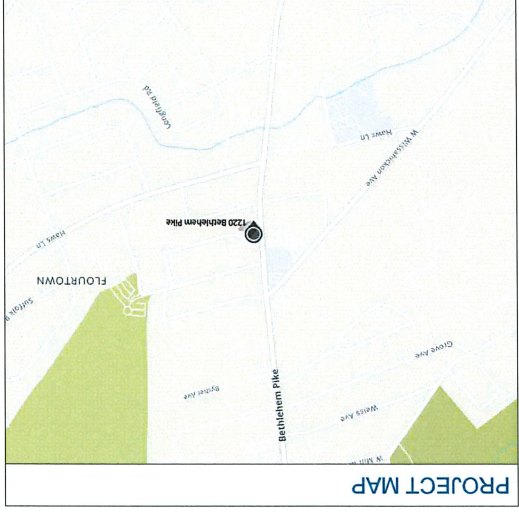
C

D

# MURRAY DN

1220 BETHLEHEM PIKE, FLOURTOWN, PA 19031

DRAWING INDEX	
1	COVER SHEET
2	SITE PLAN
3	AS-BUILT BASEMENT, FIRST, AND SECOND FLOOR PLAN
4	PROPOSED FOUNDATION PLAN
5	PROPOSED FIRST FLOOR PLAN
6	PROPOSED SECOND FLOOR PLAN
7	INTERIOR PERSPECTIVES
8	CABINETRY ELEVATIONS AND INTERIOR PERSPECTIVES
9	FIRST FLOOR ELECTRICAL PLAN
10	SECOND FLOOR ELECTRICAL PLAN
11	EXTERIOR ELEVATIONS
12	EXTERIOR ELEVATIONS



GENERAL NOTES	
1.	THESE PLANS AND SPECIFICATIONS ARE SOLE PROPERTY OF HARTH BUILDERS. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT WRITTEN CONSENT IS PROHIBITED.
2.	WORK PERFORMANCE SHALL COMPLY WITH THE FOLLOWING: A. THE GENERAL NOTES AND TYPICAL DETAIL APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED AND SHOWN. B. APPLICABLE CODES. C. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE GENERAL CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND INDUSTRY RECOMMENDED PROCEDURES.
3.	IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE GENERAL CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND INDUSTRY RECOMMENDED PROCEDURES.
4.	DISCREPANCIES AND OMISSIONS: THE CONTRACTOR SHALL COMPARE A. FINAL LOCATION OF PLUMBING FIXTURES AND ACCESSORIES TO BE FIELD VERIFIED WITH CLIENT PRIOR TO INSTALLATION. B. SEE TABLE R02(1) FOR FASTER SCHEDULE. C. PENETRATIONS THROUGH FIRE SEPARATIONS TO BE SEALED IN ACCORDANCE WITH R02.5. D. ALL EXTERIOR LUMBER TO BE PRESERVATIVE TREATED.
5.	WHERE APPLICABLE, NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
6.	THE OWNER SHALL BE RESPONSIBLE TO HIRE A LICENSED FIRE PROTECTION SPRINKLER DESIGNER IF THE LOCAL BUILDING ORDINANCE DICTATED THAT SUCH SYSTEMS ARE REQUIRED BY THE TOWNSHIP. THE FIRE PROTECTION SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED PER THE ADAPTED EDITIONS OF THE NFPA STANDARDS.
7.	WHERE APPLICABLE, REFER TO STRUCTURAL ENGINEER'S STAMPED MEMO FOR CONSTRUCTION DETAIL INFORMATION.
8.	WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED, VERIFICATION OF THE PLAN DIMENSIONS AND SITE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER.
9.	PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY. UNLESS OR UNTIL A SCOPE OF WORK IS AGREED UPON AND EXECUTED, THE OWNER HAS NOT RETAINED HARTH BUILDERS TO PERFORM CONSTRUCTION OBSERVATION SERVICES. HARTH BUILDERS DOES NOT GUARANTEE THE PERFORMANCE OF AND SHALL HAVE NO RESPONSIBILITY FOR FURNISHING MATERIALS OR PERFORMING ANY WORK ON THE PROJECT. IF THE CLIENT DESIRES PROJECT OBSERVATION, THE CLIENT SHALL REQUEST IN WRITING SUCH SERVICES BE PROVIDED BY HARTH BUILDERS AS SEPARATE AND ADDITIONAL SERVICES.
10.	GUARDRAIL REQUIREMENTS: (I.R.C. 2018 - SECTION R311.7.8) MIN HEIGHT = 36" MIN CLEARANCE FROM DOWNWARD THICKNESS, HORIZONTAL PROJECTION, COUNTERTOP OVERHANG.
11.	STAR REQUIREMENTS: (I.R.C. 2018 - R311.7, PA UCC) MAX. RISER = 8-1/4" MIN. TREAD = 9" MIN. WIDTH = 36" MAX. RISER VARIATION = 3/8"
12.	CONCRETE: A. CONCRETE MINIMUM COMPRESSIVE STRENGTH TO BE 3500 PSI, UNLESS NOTED OTHERWISE. B. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF SECTION 4.2.3 OF ACH-18 IS PERMITTED FOR STRUCTURAL CONCRETE IN RESIDENTIAL CONSTRUCTION.

DESIGN CRITERIA	
GROUND LOAD SHOW	30
WIND SPEED CATEGORY	B
SEISMIC DESIGN	11S
WEATHERING SUBJECT TO DAMAGE FROM	SEVERE
TERMINAL TEMP	3-0"
DESIGN WINTER	11F
ICE SHIELD	YES, LOW 24" F
HAZARDOUS	11/1004
FLOOD INDEX	1000
AIR MEAN LL	51F
FREEZING ANNUAL TEMP	40 PSF
MEAN LL	51F
LIVING SLEEPING LL	30 PSF

DESIGN: DENNIS & NIKKI MURRAY | (215) 654-0364 812 N BETHLEHEM PIKE LOWER GWYNEDD, PA 19002  
 DESIGN: HARTH BUILDERS | (215) 654-0364 812 N BETHLEHEM PIKE LOWER GWYNEDD, PA 19002  
 DESIGN: LARSEN & LANDIS | (215) 232-7207 11 W THOMPSON ST PHILADELPHIA, PA 19125  
 STRUCTURAL COMMENTS: TRUSS DESIGN R & R COMPONENTS, INC. | (717) 792-4641 78 BOWMAN RD YORK, PA 17408

KEY	
	EXISTING WALL
	DEMOLISHED WALL
	PROPOSED NEW WALL
	PROPOSED NEW KNEE WALL
	NEW FIRE RATED WALL, 5/8" GWS @ ONE SIDE
	NEW WALL FRAMED WITH TIMBERSTRAND
	WALL WITH BRICK
	CMU WALL
	CONCRETE WALL
	STONE WALL
	EXISTING DOOR
	NEW DOOR
	CEILING/ROOF/DECK ABOVE
	BEAM OR STRUCTURAL MEMBER
	COLUMN OR POST
	ALTERED ELEC. DRAWN IN RED
	EXISTING ELEC. DRAWN IN BLACK, SHOWN IF NECESSARY
	110V DUPLEX OUTLET
	110V DUPLEX OUTLET, GROUND FAULT PROTECTED
	CIRCUIT BREAKER
	220V OUTLET
	110V OUTLET, CEILING MOUNTED
	THREE-WAY SWITCH
	WEATHER PROOF ELECTRICAL FIXTURE
	RECESSED LIGHT FIXTURE
	SURFACE MOUNTED CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	LIGHT BAR
	LED STRING LIGHTING
	LED LIGHT PANEL
	EXHAUST FAN, VENTED TO EXTERIOR
	ELECTRICAL PANEL
	THERMOSTAT
	SMOKE DETECTOR
	SECTION MARKER
	ELEVATION MARKER

DESIGN: DENNIS & NIKKI MURRAY | (215) 654-0364 812 N BETHLEHEM PIKE LOWER GWYNEDD, PA 19002  
 DESIGN: HARTH BUILDERS | (215) 654-0364 812 N BETHLEHEM PIKE LOWER GWYNEDD, PA 19002  
 DESIGN: LARSEN & LANDIS | (215) 232-7207 11 W THOMPSON ST PHILADELPHIA, PA 19125  
 STRUCTURAL COMMENTS: TRUSS DESIGN R & R COMPONENTS, INC. | (717) 792-4641 78 BOWMAN RD YORK, PA 17408

HARTH BUILDERS  
 ONE MILL RACE  
 SPRING HOUSE, PA 19477  
 PH: 215-654-0364  
 hrb@hdb.com

DENNIS AND NIKKI MURRAY  
 1220 BETHLEHEM PIKE  
 FLOURTOWN, PA 19031

COVER SHEET

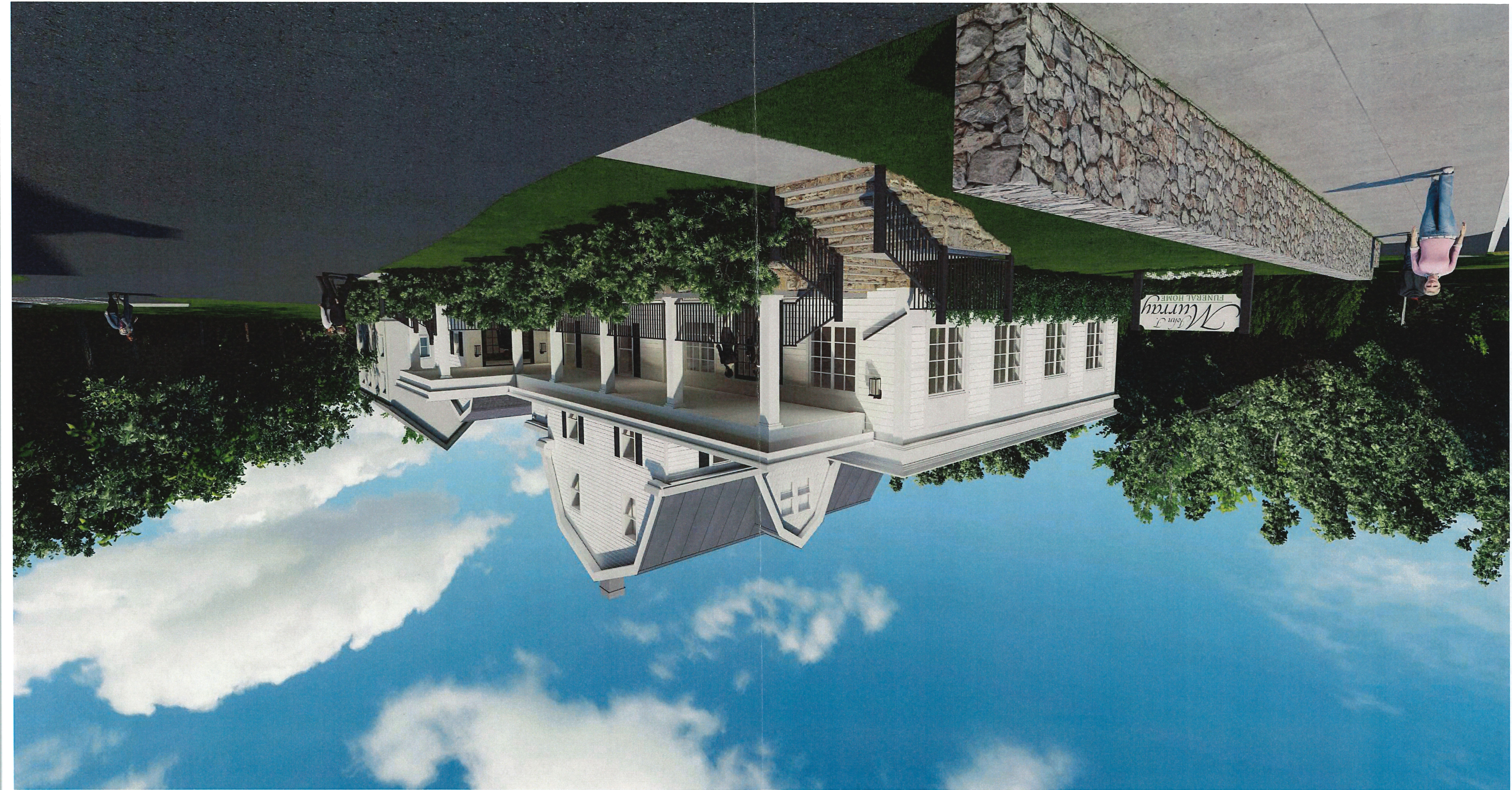
MURRAY DN

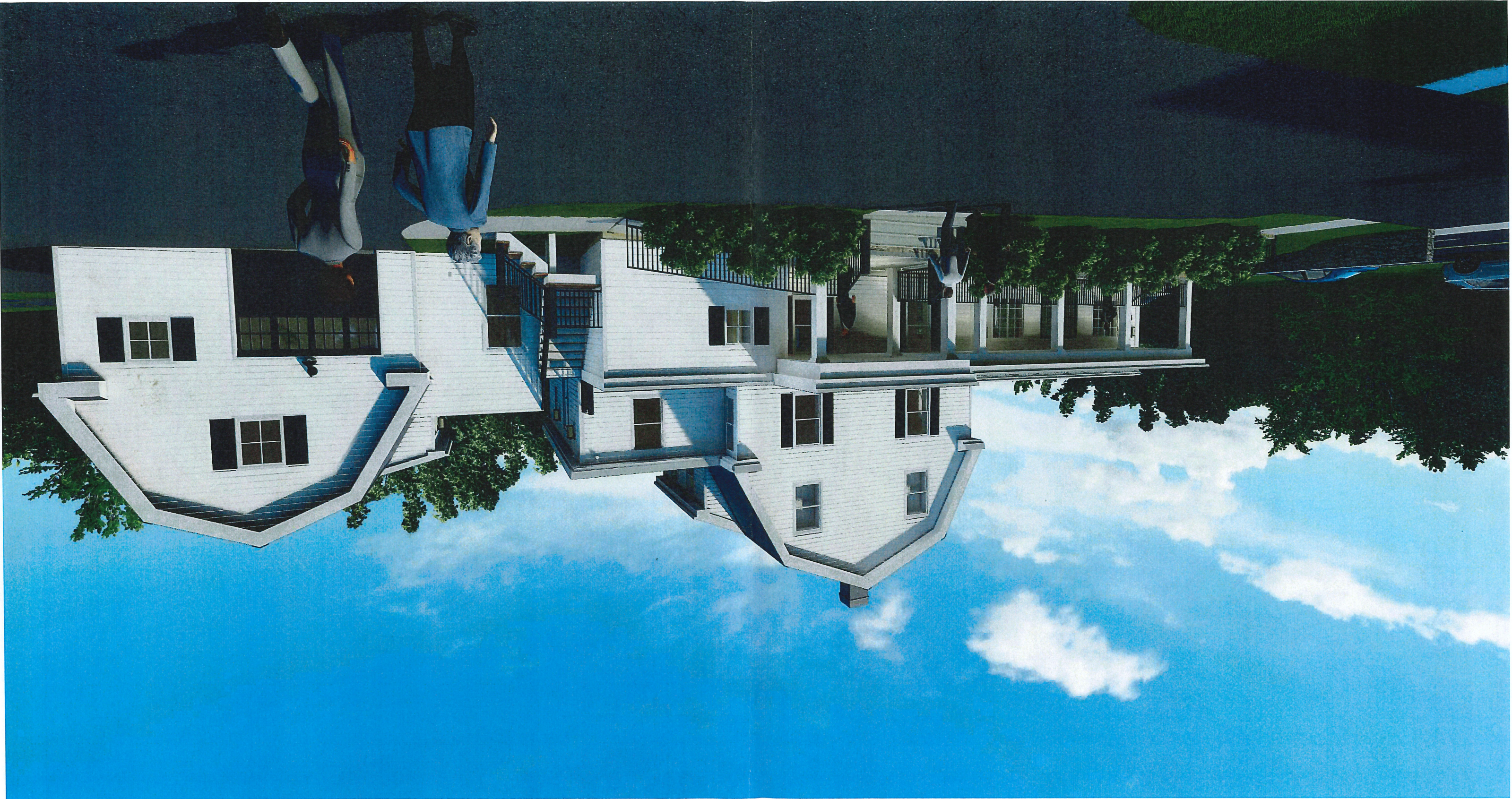
NORTH ARROW

SPRINGFIELD TOWNSHIP	
TWT	5 2202XX TQUV
DMS	4 221219 TQUV
DMS	3 221114 TQUV
DMT	2 221013 TQUV
AS-BUILT	1 221003 TG
DESCR.	NO. DATE BY

A1

NOT FOR CONSTRUCTION









# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org)

Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

James M. Lee  
*President*

Baird M. Standish  
*Vice President*

Peter D. Wilson  
Eddie T. Graham  
Michael E. Maxwell  
Jonathan C. Cobb  
Susanna O. Ratsavong

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Joelle Kleinman  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

## Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

**Monday, April 24, 2023**, at 7:00 p.m. at which time a public meeting will commence on the following application:

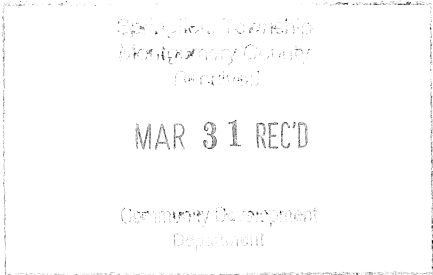
**Case #23-10:** This is the application of **Noelle & Matthew Powell** owners of property located at 1203 Bergan Road, Oreland, PA 19075 known as Parcel #5200-0141-4001. The applicants have requested a variance from Section 114-52. B of the Springfield Township Zoning Ordinance to allow for the construction of a 530 square foot deck to the rear of the home, that will increase the building coverage to 20.3% of the total lot area. The property is limited to 20% as per the requirements of Section 114-52.B of the Zoning Ordinance. The property is zoned within the A-Residential District of Ward #4 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township  
Zoning Hearing Board  
Mark A. Penecale  
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD  
MONTGOMERY COUNTY  
1510 PAPER MILL ROAD  
WYNDMOOR, PA 19038



NO. #23-

DATE: 3/28/23

**PETITION**

**SPRINGFIELD TOWNSHIP ZONING HEARING BOARD**

We Noelle and Matthew Powell  
(Name of Applicant)

Of (Address) 1203 Bergan Road, Oreland, PA 19075

(Telephone No.) 215-233-1809

do hereby make application before the Springfield Township Zoning Hearing Board to request:

       An **appeal** from the decision of the Zoning/Building Official.

       A **special exception** as provided for in Article       , Section       ,  
Subsection       , of the Springfield Township Zoning Code.

  X   A **variance** from the requirements set forth in Article 114, Section 52,  
Subsection B, of the Springfield Township Zoning Code.

       Other (please specify)       

**The property concerned is located at** 1203 Bergan Road, Oreland, PA 19075

**Petitioner's Interest in the property is** Property Owner

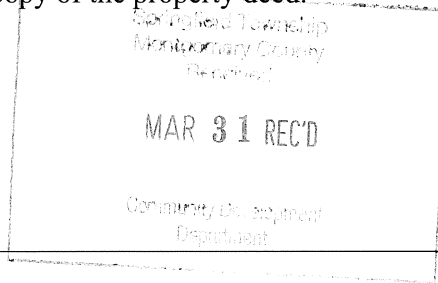
**Present use of property** Single Family Dwelling

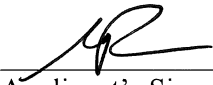

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

I am requesting a variance to construct a 530 sq foot deck on my property which has  
14,100 square feet of total lot area. The total building area of my existing structure and  
this proposed deck would equal 20.35%, 0.35% greater than the maximum 20%  
zoning ordinance limit for total building area on a property. The reason for the variance  
request is due to the fact that this deck was designed to meet ADA compliance for a  
current residence of our property. Reducing the decks square footage would obstruct  
wheelchair clearances amongst the planned deck tables and seating.

**APPLICANT NOTE:** Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

Case # Z3-10  
Check # 1284  
\$500.00



  
Applicant's Signature  
  
Owner's Signature

**Do not write in this space.**

Petition granted.

Petition refused.

The following special conditions are imposed.

---

---

---

By Order of the Zoning Hearing Board

---

---

---



**TOWNSHIP OF SPRINGFIELD  
COMMUNITY DEVELOPMENT  
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE  
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

**Application Procedures**

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (**8**) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

## Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

MATT POWELL

Printed Name of Applicant

 3/28/23

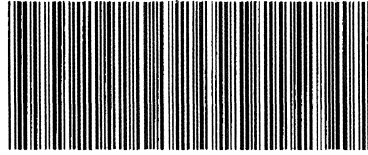
Applicant's Signature and Date



RECORDER OF DEEDS  
MONTGOMERY COUNTY  
*Nancy J. Becker*

One Montgomery Plaza  
Swede and Airy Streets ~ Suite 303  
P.O. Box 311 ~ Norristown, PA 19404  
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 5753 PG 00183 to 00187  
INSTRUMENT # : 2009127959  
RECORDED DATE: 12/08/2009 09:34:08 AM



1138621-0013J

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

<b>Document Type:</b> Deed	<b>Transaction #:</b> 1036263 - 2 Doc(s)
<b>Document Date:</b> 11/30/2009	<b>Document Page Count:</b> 4
<b>Reference Info:</b>	<b>Operator Id:</b> dcane

<b>RETURN TO:</b> (Simplifile) maple settlement services 1821 purdie lane maple glen, PA 19002 (215) 646-0700	<b>SUBMITTED BY:</b> maple settlement services 1821 purdie lane maple glen, PA 19002 (215) 646-0700
---	---

**\* PROPERTY DATA:**  
Parcel ID #: 52-00-01414-00-1  
Address: 1203 BERGAN RD  
  
PA  
19075  
Municipality: Springfield Township (100%)  
School District: Springfield

**\* ASSOCIATED DOCUMENT(S):**

<b>CONSIDERATION/SECURED AMT:</b>	<b>\$210,000.00</b>
<b>TAXABLE AMOUNT:</b>	<b>\$210,000.00</b>
<b>FEES / TAXES:</b>	
Recording Fee:Deed	\$65.00
State RTT	\$2,100.00
Springfield Township RTT	\$1,050.00
Springfield School District RTT	\$1,050.00
Rejected Document Fee	\$5.00
<b>Total:</b>	<b>\$4,270.00</b>

DEED BK 5753 PG 00183 to 00187  
Recorded Date: 12/08/2009 09:34:08 AM

I hereby CERTIFY that  
this document is  
recorded in the  
Recorder of Deeds  
Office in Montgomery  
County, Pennsylvania.



*Nancy J. Becker*

Nancy J. Becker  
Recorder of Deeds

**PLEASE DO NOT DETACH**

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

\*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

Prepared by and Return to:

Maple Settlement Services  
1821 Purdie Lane  
Maple Glen, PA 19002  
215-646-0700

File No. C0718

UPI # 52-00-01414-00-1

MONTGOMERY COUNTY COMMISSIONERS REGISTRY  
52-00-01414-00-1 SPRINGFIELD TOWNSHIP  
1203 BERGAN RD  
DIJENNO JOHN A & PATRICIA A  
B 040D L 99 U 037 1101 12/08/2009

\$10.00  
JU

**This Indenture**, made the 30th day of November, 2009,

Between

**JOHN A. DIJENNO AND PATRICIA A. DIJENNO**

(hereinafter called the Grantors), of the one part, and

**MATTHEW D. POWELL AND NOELLE CEBRON POWELL**

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Two Hundred Ten Thousand Dollars 00/100 (\$210,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, as tenants by the entirety

ALL THAT CERTAIN lot or piece of ground, with the buildings and improvements thereon erected, SITUATE in the Township of Springfield, County of Montgomery and State of Pennsylvania, being Lot No. 99 as shown on Plan of Subdivision known as "Greendale Manor, Section 3" made for Sunnybrook, Inc., by Barton and Martin, Engineers, dated 10/25/1954 and recorded 2/17/1955 in the Office for the Recording of Deeds in and for the County of Montgomery at Norristown, PA, in Plan Book A-2 page 8 and being more fully described according to said plan as follows, to wit:

BEGINNING at a point on the Northeasterly side of Bergan Road (50 feet wide) at the distance of 174 feet, measured North 45 degrees 46 minutes 46 seconds West from a point of curve in the same, which point of curve is at the arc distance of 17.01 feet measured on the arc of a circle curving to the right having a radius of 10 feet from a point on the Northwesterly side of Paper Mill Road (46.5 feet wide); thence extending from said point of beginning along said side of Bergan Road, North 45 degrees 46 minutes 46 seconds West, 125 feet to a point in line of Lot No. 98 on said plan; thence extending along same North 44 degrees 13 minutes 14 seconds East 119.74 feet to a point in the Southwesterly side of a 60 feet wide easement reserved for drainage; thence extending along same South 38 degrees 45 minutes 55 seconds East 125.94 feet to a point in line of Lot No. 100 on said plan; thence extending along same South 44 degrees 13 minutes 14 seconds West, 104.37 feet to the first mentioned point and place of beginning.

Being the same premises which William Wilson Stewart and Frances M. Stewart by Deed dated 6/15/92 and recorded 6/23/92 in Montgomery County in Deed Book 5010 Page 1791 conveyed unto John A. DiJenno and Patricia A. DiJenno, in fee.

Divorce proceedings filed in Montgomery County Patricia Anne DiJenno vs John Anthony DiJenno filed 12/12/07 in Cp # 2007-30785.

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

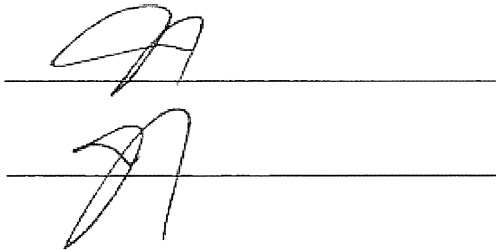
To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

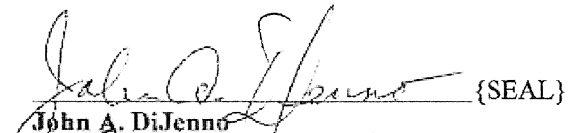
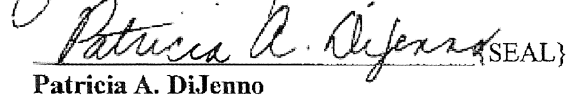
And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against them, the said Grantors, and their heirs, and against all and every other person and persons whosoever lawfully claiming or to claim the same or any part thereof, shall and will

**Warrant and Forever Defend.**

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

**Sealed and Delivered  
in the Presence of Us:**

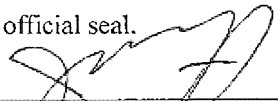


  
John A. DiJenno {SEAL}  
  
Patricia A. DiJenno {SEAL}

Commonwealth of Pennsylvania }  
County of Montgomery } ss

On this, the 30th day of November, 2009, before me, the undersigned Notary Public, personally appeared **John A. DiJenno and Patricia A. DiJenno**, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

  
\_\_\_\_\_  
Notary Public  
My commission expires 3/14/11

COMMONWEALTH OF PENNSYLVANIA  
Notarial Seal:  
Joshua R. Foley, Notary Public  
Upper Dublin Twp., Montgomery County  
My Commission Expires March 14, 2011  
Member, Pennsylvania Association of Notaries

The precise residence and the complete post office address of the above-named Grantees is:

**1203 Bergan Road  
Oreland, PA 19075**

  
\_\_\_\_\_  
On behalf of the Grantees

# Deed

UPI # 52-00-01414-00-1

John A. DiJenno and Patricia A. DiJenno

TO

Matthew D. Powell and Noelle Cebron  
Powell

Maple Settlement Services  
1821 Purdie Lane  
Maple Glen, PA 19002  
Telephone: 215-646-0700 Fax: 215-646-0710

Prepared by and Return to:

Maple Settlement Services  
1821 Purdie Lane  
Maple Glen, PA 19002  
215-646-0700

File No. C0718

UPI # 52-00-01414-00-1

**This Indenture**, made the 30th day of November, 2009,

Between

**JOHN A. DIJENNO AND PATRICIA A. DIJENNO**

(hereinafter called the Grantors), of the one part, and

**MATTHEW D. POWELL AND NOELLE CEBRON POWELL**

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Two Hundred Ten Thousand Dollars 00/100 (\$210,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, as tenants by the entirety

ALL THAT CERTAIN lot or piece of ground, with the buildings and improvements thereon erected, SITUATE in the Township of Springfield, County of Montgomery and State of Pennsylvania, being Lot No. 99 as shown on Plan of Subdivision known as "Greendale Manor, Section 3" made for Sunnybrook, Inc., by Barton and Martin, Engineers, dated 10/25/1954 and recorded 2/17/1955 in the Office for the Recording of Deeds in and for the County of Montgomery at Norristown, PA, in Plan Book A-2 page 8 and being more fully described according to said plan as follows, to wit:

BEGINNING at a point on the Northeasterly side of Bergan Road (50 feet wide) at the distance of 174 feet, measured North 45 degrees 46 minutes 46 seconds West from a point of curve in the same, which point of curve is at the arc distance of 17.01 feet measured on the arc of a circle curving to the right having a radius of 10 feet from a point on the Northwesterly side of Paper Mill Road (46.5 feet wide); thence extending from said point of beginning along said side of Bergan Road, North 45 degrees 46 minutes 46 seconds West, 125 feet to a point in line of Lot No. 98 on said plan; thence extending along same North 44 degrees 13 minutes 14 seconds East 119.74 feet to a point in the Southwesterly side of a 60 feet wide easement reserved for drainage; thence extending along same South 38 degrees 45 minutes 55 seconds East 125.94 feet to a point in line of Lot No. 100 on said plan; thence extending along same South 44 degrees 13 minutes 14 seconds West, 104.37 feet to the first mentioned point and place of beginning.



Being the same premises which William Wilson Stewart and Frances M. Stewart by Deed dated 6/15/92 and recorded 6/23/92 in Montgomery County in Deed Book 5010 Page 1791 conveyed unto John A. DiJenno and Patricia A. DiJenno, in fee.

Divorce proceedings filed in Montgomery County Patricia Anne DiJenno vs John Anthony DiJenno filed 12/12/07 in Cp # 2007-30785.

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

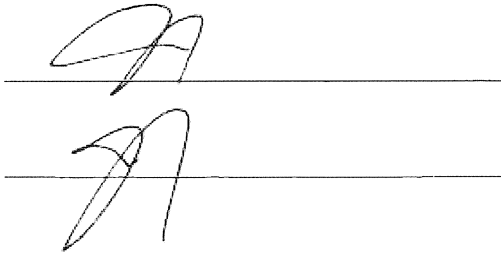
To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

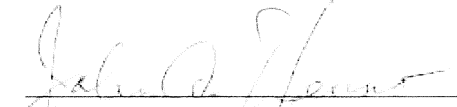
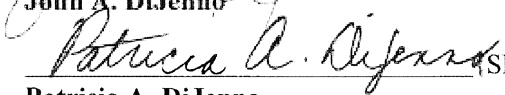
And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against them, the said Grantors, and their heirs, and against all and every other person and persons whosoever lawfully claiming or to claim the same or any part thereof, shall and will

Warrant and Forever Defend.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

**Sealed and Delivered  
in the Presence of Us:**



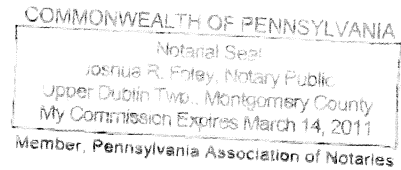
 {SEAL}  
**John A. DiJenno**  
 {SEAL}  
**Patricia A. DiJenno**

Commonwealth of Pennsylvania }  
County of Montgomery } ss

On this, the 30th day of November, 2009, before me, the undersigned Notary Public, personally appeared **John A. DiJenno and Patricia A. DiJenno**, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

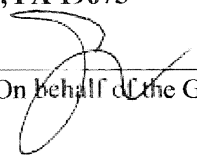
IN WITNESS WHEREOF, I hereunto set my hand and official seal.

  
\_\_\_\_\_  
Notary Public  
My commission expires 3/19/11



The precise residence and the complete post office address of the above-named Grantees is:

**1203 Bergan Road  
Oreland, PA 19075**

  
\_\_\_\_\_  
On behalf of the Grantees

# Deed

UPI # 52-00-01414-00-1

John A. DiJenno and Patricia A. DiJenno

TO

Matthew D. Powell and Noelle Cebron  
Powell

Maple Settlement Services  
1821 Purdie Lane  
Maple Glen, PA 19002  
Telephone: 215-646-0700 Fax: 215-646-0710

PARID: 520001414001

POWELL MATTHEW D & NOELLE CEBRON

1203 BERGAN RD

**Parcel**

---

TaxMapID 52040D037  
Parid 52-00-01414-00-1  
Land Use Code 1101  
Land Use Description R - SINGLE FAMILY  
Property Location 1203 BERGAN RD  
Lot # 99  
Lot Size 14100 SF  
Front Feet 125  
Municipality SPRINGFIELD  
School District SPRINGFIELD TWP  
Utilities ALL PUBLIC//

**Owner**

---

Name(s) POWELL MATTHEW D & NOELLE CEBRON  
Name(s)  
Mailing Address 1203 BERGAN RD  
Care Of  
Mailing Address  
Mailing Address ORELAND PA 19075

**Current Assessment**

---

Appraised Value	Assessed Value	Restrict Code
156,620	156,620	

**Estimated Taxes**

---

County	664
Montco Community College	61
Municipality	707
School District	5,688
Total	7,120
Tax Lien	Tax Claim Bureau Parcel Search

**Last Sale**

---

Sale Date	30-NOV-09
Sale Price	\$210,000
Tax Stamps	2100
Deed Book and Page	5753-00183
Grantor	DIJENNO JOHN A & PATRICIA A
Grantee	POWELL MATTHEW D & NOELLE CEBRON
Date Recorded	08-DEC-09



# The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: [www.SpringfieldMontco.org](http://www.SpringfieldMontco.org)

Phone: 215-836-7600

Fax: 215-836-7180

## COMMISSIONERS

James M. Lee  
*President*

Baird M. Standish  
*Vice President*

Peter D. Wilson  
Eddie T. Graham  
Michael E. Maxwell  
Jonathan C. Cobb  
Susanna O. Ratsavong

## OFFICERS

A. Michael Taylor  
*Secretary-Manager*

James J. Garrity  
*Solicitor*

Joelle Kleinman  
*Treasurer / Tax Collector*

Timothy P. Woodrow, PE  
*Engineer*

Mr. Matthew Powell  
1203 Bergan Road  
Oreland, PA 19075

March 6, 2023

Re: Building Permit Application for 1203 Bergan Road, Oreland, PA, 19075

Dear Mr. Powell,

This letter is sent to inform you that the building permit application you submitted for the construction of a 530 square foot deck on your property cannot be approved as submitted. The reason the application has been denied is due to the fact that the proposed deck would place your property over the permitted building coverage limitation of 20% of your total lot area.

Your property is zoned within the A-Residential District of Ward #4 of Springfield Township. Section 114-52.B of the Springfield Township Zoning Ordinance limits the total building area on your property to no greater than 20% of the total lot area. Our records list your property as having 14,100 square feet of total lot area. In addition, our records list the property as having 2,340 square feet of existing building coverage. This does not include the pool, the driveway, walkways or the concrete patio. The proposed deck would place the property 50 square feet over the allowable coverage limit.

You have several options to consider. One, the size of the proposed deck can be reduced by 50 square feet. Two, if you believe that the calculations I put together are not accurate, a plan of the property can be prepared by either a Land Surveyor or a Professional Engineer. Lastly, you can apply to the Zoning Hearing Board for a variance from Section 114-52.B.

If you have any questions, please feel free to contact me at 215-836-7600, ext. 1114.

Sincerely,

Mark A. Penecale  
Director of Planning & Zoning  
Springfield Township

**Section 114-52: Lot & Building Area**

- A.** Lot area. A lot area of not less than 12,500 square feet per family shall be provided for every building hereafter erected, altered or used in whole or in part as a dwelling.  
[Amended 6-13-1979 by Ord. No. 684]
- B.** Building area. The building area shall not exceed 20% of the lot area.

