

Springfield Township Zoning Hearing Board November 27, 2023 7:00 P.M.

7:00 P.M. Call to Order:

Pledge of Allegiance:

Roll Call: Jennifer Guckin, Chairperson, Zoning Hearing Board Member

Megan McDonough; Esq., Vice Chair, Zoning Hearing Board

Ed Fox; Esq., Zoning Hearing Board Member

James Brown; Zoning Hearing Board Alternate Member Kate M. Harper, Esq.; Solicitor, Zoning Hearing Board

Decisions: There are no pending Order & Opinions to render.

New Business:

Case #23-24: This is the application of 1851 Bethlehem Pike Associates, LP, owner of the property located at 1851 Bethlehem Pike, Flourtown, PA 19031, known as Parcel #5200-0166-5002. The applicant has requested a variance from Section 114-12.A-13 of the Springfield Township Zoning Ordinance. The applicant seeks approval to make alterations within the flood plain to include the removal of the drivethru canopy, construction of a trash enclosure, minor curb alterations and the creation of an outdoor seating area. The property is zoned within the B-2 Business District of Ward #6 of Springfield Township.

Case #23-25: This is the application of Andre Stephano & Beth Lesko, owners of the property located at 401 East Mill Road, Flourtown, PA 19031, known as Parcel #5200-1166-2004. The applicants have requested a variance from Section 114-53 of the Springfield Township Zoning Ordinance. The applicants plan to subdivide the property with the proposed lot having frontage on Cedar Lane. The variance has been requested to allow the proposed lot to have 25 feet of lot frontage on Cedar Lane, instead of the required 75 feet. The property is zoned within the A-Residential District of Ward #6 of Springfield Township.

Adjournment:

Note: The next meeting of the Zoning Hearing Board is scheduled for Monday, December 18, 2023, with a 7:00 P.M. start time. This meeting will be held at the Springfield Township Administration Building located at 1510 Paper Mill Road, Wyndmoor, PA 19038



COMMISSIONERS

James M. Lee President

Baird M. Standish Vice President

Peter D. Wilson Michael E. Maxwell Jonathan C. Cobb Susanna O. Ratsavong Brendan May

OFFICERS

A. Michael Taylor Secretary-Manager

> James J. Garrity Solicitor

Joelle Kleinman Treasurer / Tax Collector

Timothy P. Woodrow, PE Engineer

The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038 website: www.SpringfieldMontco.org Phone: 215-836-7600

Fax: 215-836-7180

Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, November 27, 2023, at 7:00 p.m. at which time a public meeting will commence on the following application:

Case #23-24: This is the application of 1851 Bethlehem Pike Associates, LP, owner of the property located at 1851 Bethlehem Pike, Flourtown, PA 19031, known as Parcel #5200-0166-5002. The applicant has requested a variance from Section 114-12.A-13 of the Springfield Township Zoning Ordinance. The applicant seeks approval to make alterations within the flood plain to include the removal of the drive-thru canopy, construction of a trash enclosure, minor curb alterations and the creation of an outdoor seating area. The property is zoned within the B-2 Business District of Ward #6 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township Zoning Hearing Board Mark A. Penecale Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD MONTGOMERY COUNTY 1510 PAPER MILL ROAD WYNDMOOR, PA 19038

Springfield Township Montgomery County Received

OCT 3 REC'D

Community Development Department

DATE: **10** 3 2023

NO:#-23-24

(Telephone No.)_(267) 825-5115

PETITION

SPRINGFIELD TOWNSHIP ZONING HEARING BOARD

We 18	851 Bethlehem Pike Associates, LP	
	(Name of Applicant)	
11 \	c/o Andrew Winn 600 N 2nd Street #401 Harrisburg PA 17101	

do he	ereby	make	application	n before	the S	pringfield	Township	Zoning	Hearing	Board to	o request:

A spec	ial exception as provided for in Article	, Section	,
Subsection	, of the Springfield Township Zoning Co	de.	

An appeal from the decision of the Zoning/Building Official.

X	A variance from the requirements set forth in Article_	12A , Section 12A13,
Subsect	on, of the Springfield Township Zoning Code.	

Other (please specify)		

The property concerned is located at 1851 Bethlehem Pike, Flourtown

Petitioner's Interest in the property is Owner

Present use of property vacant commercial building with drive thru. Initially developed as and formerly occupied as a restaurant. Most recently occupied as retail bank facility.

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines. Owner proposes minor site improvements to meet needs of new tenant. Improvements include removal of drive-thru canopy, construction of trash enclosure, minor curb adjustments, and creation of outdoor seating area. The renovations result in a net decrease in impervious coverage. Proposed renovations require removal of impervious surface in Floodplain Conservation District and a net increase in green area. Removal of impervious constitues "disturbance" and thus requires releif from Section 114-12A13. APPLICANT NOTE: Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed. Applicant's Signature \$ 1,2000 CASE #23-24 Owner's Signature torned for owner Do not write in this space. Petition granted. Petition refused. The following special conditions are imposed. By Order of the Zoning Hearing Board

TOWNSHIP OF SPRINGFIELD COMMUNITY DEVELOPMENT ZONING INFORMATION AND FEE SCHEDULE

NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP

Application Procedures

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (8) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code**, **Act 247**, **Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

- 1. A filing fee of \$500.00 shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
- 2. A filing fee of \$1,200.00 shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
- 3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

Printed Name of Applicant

Applicant's Signature and Date

alzolzz

RECORDER OF DEEDS MONTGOMERY COUNTY Nancy J. Becker

One Montgomery Plaza Swede and Airy Streets ~ Suite 303 P.O. Box 311 ~ Norristown, PA 19404 Office: (610) 278-3289 ~ Fax: (610) 278-3869



DEED BK 5708 PG 00360 to 00365

INSTRUMENT #: 2008094491

RECORDED DATE: 09/19/2008 09:05:28 AM



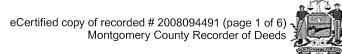
0375829-0014VV

			MONTGOMER	Y COUNTY ROD
		OFFICIAL REC	ORDING COVER PAGE	Page 1 of 6
Document Type:	Deed		Transaction #:	287822 - 4 Doc(s)
Document Date: 0	9/09/2008		Document Page Count:	5
Reference Info:			Operator Id:	tbutler
RETURN TO: (Mail)			SUBMITTED BY:	
GROSS, MCGINLEY, LABARRE & EATON, LLP			GROSS, MCGINLEY, LABAR	
33 SOUTH SEVENT	H STREET		33 SOUTH SEVENTH STREE	ET
P.O. BOX 4060			P.O. BOX 4060	_
ALLENTOWN, PA 18			ALLENTOWN, PA 18105-406	0
* PROPERTY DATA				
Parcel ID #:	52-00-01665-00-2		65-00-00723-00-4	
Address:	1851 BETHLEHE	M PIKE	BETHLEHEM PIKE	
A. 2 . 2 . 190	PA		PA	
Municipality:	Springfield Towns	snip	Whitemarsh Township	•
School District:	Springfield		Colonial	
* ASSOCIATED DO	COMENT(S):			
CONSIDERATION/S	ECURED AMT:	\$2,721,804.00	DEED BK 5708 PG 00360 to	00365
		. , ,	Recorded Date: 09/19/2008 0	9:05:28 AM
FEES / TAXES:				
Recording Fee:Deed		\$46.50		A CONTRACTOR OF THE PARTY OF TH
Additional Pages Fer		\$2.00	I hereby CERTIFY that	I MARDEN'S COM
Unique Muni Fee	•	\$5.50	this document is	
Affordable Housing F	Panas	\$2.00	recorded in the	
Affordable Housing F		\$0.50	Recorder of Deeds	
State RTT	uroolo	\$27.218.04	Office in Montgomery	
Springfield Township	DTT	\$13,609.02	County, Pennsylvania	ONERY COUNTINE
			Journey, Formsylvaria	· A STATE OF THE S
Springfield School D		\$13,609.02		1000
NonCompliance Fee		\$25.00		Mars Herber
Total:		\$54,517.58		The state of the s
				Nancy J. Becker
			1	

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes. *COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.



Recorder of Deeds

SPECIAL WARRANTY DEED

Montgomery County SEP 19 2008

Recorder of Deeds

THIS INDENTURE Made the day of September, two thousand eight (2008)

BETWEEN 1851 BP, LP, a Pennsylvania limited partnership (hereinafter called the Grantor), of the one part, and 1851 BETHLEHEM PIKE ASSOCIATES, LP, a Pennsylvania limited partnership, (hereinafter called the Grantee), of the other part,

WITNESSETH, That the said Grantor for and in consideration of the sum of TWO MILLION SEVEN HUNDRED TWENTY-ONE THOUSAND EIGHT HUNDRED FOUR and 00/100 DOLLARS (\$2,721,804.00) lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee, its successors and assigns,

ALL THAT CERTAIN lot or parcel of ground, together with the buildings and improvements thereon erected located at 1851 Bethlehem Pike, Flourtown, Pennsylvania, in the Townships of Springfield and Whitemarsh, County of Montgomery, and Commonwealth of Pennsylvania, as more fully described on Exhibit "A" attached hereto and made a part hereof.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said Grantor, as well at law as in equity, of, in and to the same.

TO HAVE AND TO HOLD the said lot or parcel of land described in Exhibit "A", together with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns forever.

AND the said Grantor, for itself and its successors and assigns does covenant, promise and agree, to and with the said Grantee, its successors and assigns, by these presents, that it, the said Grantor and its successors and assigns, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor and its successors and assigns and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by from or under it or any of them, shall and will, (Subject as aforesaid), WARRANT and forever DEFEND.

JO

MONTGOMERY COUNTY COMMISSIONERS REGISTRY 65-00-00723-00-4 WHITEMARSH **BETHLEHEM PIKE** 1851 RP LP \$1.00 B 061 U 050 L 2100 DATE: 09/19/2008

MONTGOMERY COUNTY COMMISSIONERS REGISTRY 52-00-01665-00-2 SPRINGFIELD 1851 BETHLEHEM PIKE 1851 BP LP B 005 U 022 L 4255 DATE: 09/19/2008

\$5.00 JO



In Witness Whereof, the party of the first part has caused this Deed to be executed as of the day and year first above written

WITNESS:

1851 BP, LP, a Pennsylvania limited partnership

By: 1851 BP LLC, a Pennsylvania limited liability company, its general partner

By: Name Joshua S. Petersehr

Title: | Member

STATE OF ENNSYWANIA:

COUNTY OF THICADECPHIA ::

On this, the 944 day of September, 2008, before me, a Notary Public, authorized to take acknowledgments and proofs in the County and State aforesaid, personally appeared Joshua S. Petersohn, who acknowledged himself to be the Managing Member of 1851 BP LLC, a Pennsylvania limited liability company, the general partner of 1851 BP, LP, a Pennsylvania limited partnership, and that he being authorized to do so, executed the foregoing Deed on behalf of the said 1851 BP LLC, a Pennsylvania limited liability company, as such Managing Member.

IN WITNESS WHEREOF, I hereunto set my hand and Notarial se ullon Brule

My Commission Expires:

[NOTARIAL SEAL]

COMMONWEALTH OF PENNSYLVANIA NOTARIAL SEAL

SHELDON BENDER, Notary Public City of Philadelphia, Phila. County My Commission Expires May 26, 2010

EXHIBIT A

LEGAL DESCRIPTION

ALL THAT CERTAIN lot or piece of ground, with the buildings and improvements thereon erected, Situate in the Townships of Springfield and Whitemarsh, County of Montgomery and Commonwealth of Pennsylvania, as shown on an As-Built Survey prepared by Howard W. Doran, P.E., P.L.S., dated October 19, 1990, last revised January 11, 1994, and being bounded and described, as follows, to wit:

BEGINNING at a point on the Westerly right-of-way line of Bethlehem Pike, LR 153, SR 2018 (60.00 feet wide), a corner of this and lands now or late of Montgomery C.I.D.A., which point is located North 99 degrees 22 minutes 30 seconds East 456.27 feet from a corner of lands now or late of Kang Nam Woon and Kwang Nam; thence from said point of beginning along lands now or late of said Montgomery C.I.D.A. North 89 degrees 37 minutes 30 seconds West 165.00 feet to a point, a corner of lands now or late of Flourtown Commons, Ltd.; thence North 00 degrees 22 minutes 30 seconds East crossing the township line separating Whitemarsh Township and Springfield Township, 200.00 feet to a point in line of lands now or late of Ross Pizza, Inc., thence by the same South 89 degrees 37 minutes 30 seconds East 165.00 feet to a point on the said Westerly right-of-way line of Bethlehem Pike; thence by the same South 00 degrees 22 minutes 30 seconds West 200.00 feet to the first mentioned point and place of beginning.

TOGETHER with those easement rights set forth in Easement Agreement recorded in Deed Book 4405 page 373.

TOGETHER with a perpetual, exclusive easement, appurtenant and servient to the above described premises, which easement is for the purposes of drainage and is described, as follows, to wit:

BEGINNING at a point on the line of property of lands now or late of Ross Pizza, Inc., which point marks the Northwest corner of the above described premises; thence from said point of beginning along the Westerly line of the above described premises South 0 degrees 22 minutes 30 seconds West crossing the township line separating Whitemarsh Township and Springfield Township 200.00 feet to a point marking the Southwest corner of the above described premises; thence along the Southerly line extended of the above premises North 89 degrees 37 minutes 30 seconds West 30.00 feet to a point; thence North 00 degrees 22 minutes 30 seconds East, re-crossing the township line separating Whitemarsh Township and Springfield Township 200.00 feet to a point in line of lands now or late of Ross Pizza, Inc. (also being the Northerly line extended of the above described premises; thence South 89 degrees 37 minutes 30 seconds East 30.00 feet to the first mentioned point and place of beginning.

BEING known and identified as 1851 Bethlehem Pike.

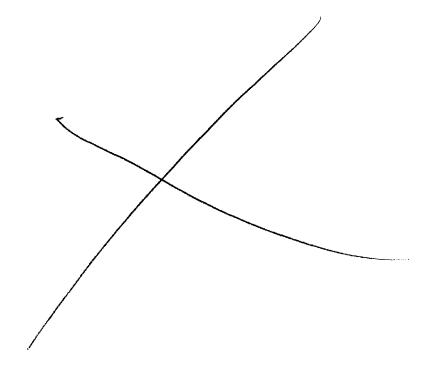
3



ALL TAXES PAYABLE TO SPRINGFIELD TOWNSHIP

BEING, Parcel #52-00-01665-00-2 Block 5 Unit 22 (Springfield)

BEING Parcel #65-00-00723-00-4 Block 61 Unit 50 (Whitemarsh)



DEED

1851 BP, LP, a Pennsylvania limited partnership

to

1851 BETHLEHEM PIKE ASSOCIATES, LP, a Pennsylvania limited partnership

PREMISES: 1851 Bethlehem Pike

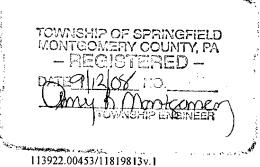
Springfield and Whitemarsh Township Montgomery County, Pennsylvania

The address of the within named Grantee is:

505 W. Germantown Pike, Suite 200 Plymouth Meeting PA 19462-1303

On behalf of Grantee

Record and return to:



Chapter 114. Zoning

Article XIIA. Floodplain Conservation District

§ 114-12A13. Uses prohibited in Floodplain Conservation District (Identified Floodplain

Any use or activity not authorized within § 114-12A12, herein, shall be prohibited within the Floodplain Conservation District (Identified Floodplain Area) and the following activities and facilities are specifically prohibited:

- A. No new construction, alteration, or improvement of buildings and any other type of permanent structure, including fences, shall be permitted in the floodway or the one-hundred-year floodplain.
- B. Placement of fill within the one-hundred-year floodplain is prohibited.
- No encroachment, alteration, or improvement of any kind shall be made to any watercourse. ပ
- Clearing of all existing vegetation, except where such clearing is necessary to prepare land for a use permitted under § 114-12A12, herein, and where the effects of these actions are mitigated by re-establishment of vegetation. Δ.
- Use of fertilizers, pesticides, herbicides, and/or other chemicals in excess of prescribed industry standards. ші
- Roads or driveways, except where permitted as corridor crossings in compliance with § 114-12A12, herein. ய்
- Motor or wheeled vehicle traffic in any area not designed to accommodate adequately the type and volume. <u>ი</u>
- H. Parking lots.
- Subsurface sewage disposal areas.
- Sod farming.
- K. Stormwater basins, including necessary berms and outfall facilities.

CONSTRUCTION PLANS FOR:

PROPOSED

STARBUCK'S

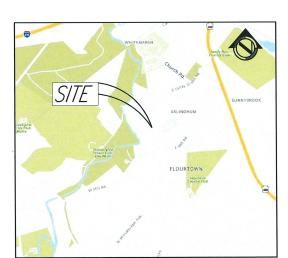
STORE #07750

1851 BETHLEHEM PIKE

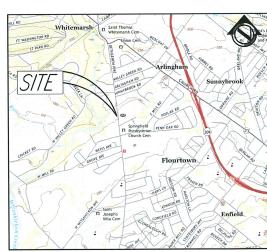
FLOURTOWN

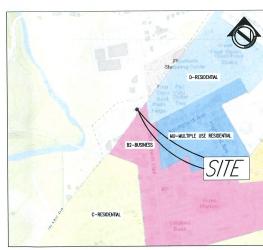
SPRINGFIELD TOWNSHIP / WHITEMARSH TOWNSHIP **MONTGOMERY COUNTY**



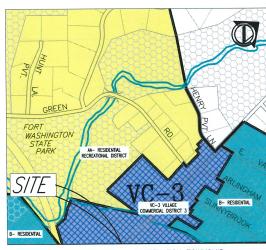


LOCATION MAP





ZONING MAP — SPRINGFIELD TOWNSHIP



ZONING MAP - WHITEMARSH TOWNSHIP

ARCHITECTS CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL, INC. 1176 N. IRVING ST., ALLENTOWN, PA 18109

CIVIL ENGINEER CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL, INC. 1176 N. IRVING ST., ALLENTOWN, PA 18109

1851 BETHLEHEM PIKE ASSOCIATES LP 505 W. GERMANTOWN PIKE, SUITE 200 PLYMOUTH MEETING PA 19462

APPLICANT FIRST CAPITAL REALTY, INC ATTN: ANDREW M. WINN awinn@firstcapitalco.com (267) 825-5115

<u>DRAWING INDE</u>X:

- SITE PLAN
 EXISTING CONDITIONS & DEMOLITION PLAN
- GRADING & DRAINAGE PLAN UTILITY PLAN LANDSCAPING & DETAILS PLAN

FIRST CAPITAL REALTY, INC.

Consulting Engineers & Architectural, Inc.

PROJECT LOCATION

1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHII MONTGOMERY COUNTY PENNSYLVANIA

COVER

SHEET

GENERAL NOTES

- REFERENCES TO CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL INC IN THESE NOTES AND IN THE PLAN SET MAY BE REFERRED TO IN ABSENTATED FORMAT AS CCEA. REFERENCE TO THE PROFESSIONAL OF RECORD MAY BE EITHER THE ARCHITECT OR RECORD OF REMEMBER OF RECORD FOR A PARTICULAR TO A PARTICULAR TO THE PROPERTY OF THE PROPERTY O

- REPERINCES TO DEPOSITION CONSULTING ENGINEERS & ARCHITECTURAL INC IN THESE NOTES AND IN THE PLAN SET MAY BE REFERRED TO IN ABBREMATED FORMAT AS CICAL REFERENCE TO THE PROFESSIONAL OF RECORD MAY BE CHITERED TO IN ABBREMATED FORMAT AS CICAL REFERENCE TO THE PROFESSIONAL OF RECORD MAY BE CHITERED TO IN ABBREMATED FORMAT AS CICAL REFERENCE TO THE PROFESSIONAL OF RECORD MAY BE CHITERED TO THE ARCHITECTOR AND ADDITIONAL TO THE PROFESSIONAL OF RECORD MAY BE CHITERED TO THE CHITERED TO THE PROFESSIONAL OF RECORD AND CONSTRUCTOR AND ADDITIONAL TO THE PROFESSIONAL PROVIDED TO THE CHITERED TO THE PROFESSIONAL BE RESPONSIBLE FOR BUSINESS THAT THEIR SUB-CONSULTANTS AND SUB-CONTRACTIONS HAVE ALL PROVIDED TO MADERIAL TO THE CHITERED TO THE PROFESSIONAL PROVIDED THE CONTRACTION RELIEVED TO THE PROFESSIONAL THAT THE SUB-CONSULTANT AND SUB-CONTRACTIONS HAVE ALL PROVIDED THAT THE SUB-CONSULTANT AND SUB-CONTRACTION HAS THE PROFESSIONAL TO THE CONTRACTION FOR RECEIVED AND THAT ALL PROVIDED THE CONTRACTION RESIDES FOR PRIMATINE AUTHORITIES.

 THE CONTRACTION OF FARRACTION SHALL BEEN GRINADE AND ARE IN THER PROSESSIONAL OF RECEIVED AND THAT ALL PROVIDED THE PROFESSIONAL TO THE PROFESSIONAL THAT THE PROFESSIONAL THE PROFESSIONAL PROVIDED THE THAT THE PROFESSIONAL THE P

SAFETY NOTES

- OF THE THORTON TO THE PROFESSIONAL OF RECORD ARE NOT RESPONSIBLE FOR JOB SITE SAFTY, SAFETY INQUIRES OR SUPERANSION. THE CONTINUENTS SHALL CONDUCT ALL CONSTRUCTION ACTIMITIES IN ACCORDANCE WITH SONAL STRUMANS AND REQUIREMENT, TO BESIDE THE SAFTLY OF THE PUBLIC, AND TO ENSURE THE INTEREST OF THE SITE AND ANY DUSTRING FEATURES TO REMAIN.

 HE COMPRISON OF SALL EX RESPONSIBLE FOR PROVINGEN A SCALURE SITE.

 HE CONTINUED SHALL BE RESPONSIBLE FOR PROVINGEN A SCALURE SITE.

 PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ACSURE STRUCTURE, AS IT EXCELL CONDITIONS CONTINUED AND REGULATIONS.

 THE PROFESSIONAL OF RECORDS AND CECLA HAS NO SEPONSIBLELY FOR SITE SAFETY.

 THE PROVINCE AND OF RECORD AND CECLA HAS NO SEPONSIBLELY FOR SITE SAFETY.

 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR OSSISTANCINGS AND REGULATIONS.

 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY, ALL CONSTRUCTION APPLY.

 APPLY.

- APPLY.
 WHEN CONSTRUCTION ACTIMITIES IMPACT RONDWAYS, PARKING LOTS AND PEDESTRIAN ROUTES, THE
 CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFETY PRACTICES IN
 CONCROMANCE WITH THE CURRENT FEDERAL HICHMY ADMINISTRATION TAMBULL ON UNFORN TRAFFIC
 CONTROL DEVICES' (MUTCO) AND FEDERAL, STATE AND LOCAL POLICIES, REQUIREMENTS, AND REGULATIONS

INSPECTION NOTES

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE INSPECTION REQUIREMENTS FOR THE PROJECT. AT A MINIMAN, THE CONTRACTOR SHALL PROVIDE THE INSPECTION BUTTING WITH A MINIMAN OF TWO BUSINESS SOAN'S MODE FOR SCHEDULING OF INSPECTIONS, OR A FOR OTHERWISE CONTRACTION IN THE FERMIT, APPROVAL, OR LIND DEVILOPMENT ARRESTMENT, DEVISION SOLD BUTTING AREA OF THE PROJECT OF MINIMARY AREA OF THE PROVINCE OF THE PROVINCE OF THE PROJECT OF THE REQUEST. 2. THE CONTRACTOR SHALL BE REQUIRED TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MINIMARY AND ANY OTHER PREVENTING CHIEFE WHERE A PRE-CONSTRUCTION MEETING WITH THE

- NUMBERSHAP MAY DAY OTHER PERMITTING BYTHINGS WHERE A PRE-CONSTRUCTION METHOD IS AN OFFI THE CONTRACTOR SHALL PERFORM ANY SEET-ASSECTION FORMS REQUIRED BY MUNICIPAL, STATE, OR FEDERAL LAW, AND HAVE COPIES ON-STEED REPORT WANDLAST REQUIRED BY MUNICIPAL, STATE, OR FEDERAL LAW, AND HAVE COPIES ON HOR TRAVEN FOR BOULDING FOR COLOR TO THE CONTRACTOR TO DIRECTLY CONCRIDED BY SECTIONS WITH THE CONCRINING BODY.

 SHALL THE REPORT HERE ANY GOOD STATE CONTRACTOR FOR HE WIPES PERMIT, IT SHALL BE SHALLD THE REPORT HERE ANY GOOD STATE OF THE STEE PROVING WHITH PERFORMED ESSON PROFESSIONAL AT THE SPECIAL STATES. HERE TO THE PESS HE PAUL WHITH PERFORMS HE SHAND PROFESSIONAL AT THE SPECIAL STATES WHITE TO THE PESS HE PAUL WHITE PERSON AS NOT COMPLETED. ANY ADDITIONAL STRINGS OF RE-CONSTRUCTION RESULTING FROM THE CONTRACTORS NOT COMPLETED. ANY ADDITIONAL STRINGS OF RE-CONSTRUCTION RESULTING FROM THE CONTRACTORS AND ASSESSION OF SOME THE PROCESSION OF THE CONTRACTORS AND THE CONTRAC

CONTRACTOR SUBMITTALS & REQUESTS FOR INFORMATION

- ANY SHOP DOWNINGS OR SUBMITTALS PROVIDED TO THE ARCHITECT OR CHOINEER IS ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFERMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE PLAYS. THE CONSTRUCTION SHOWN IN WHAT OR REMEMBED, CONCENTRATION OF THE CONTRIBUTION OF THE CONTRIB

DEMOLITION NOTES

- DEMOLITION PLAN IS INTENDED TO PROVIDE CENERAL INFORMATION OF WHICH ITEMS ARE TO BE DEMOLISHED AND TO DESITIFY ONLY LOCATIONS OF THE ITEMS TO BE DEMOLISHED. THE DEMOLITION PLANS DEMOLISHED AND TO DESITIFY ONLY LOCATIONS OF THE ITEMS TO BE DEMOLISHED. THE DEMOLITION PLANS DEMOLITION TO THOSE PROPOSED TO BE DEMOLISHED. THE CONTRACTOR SAME BE ESSONABLE TO CHIEF OF THE PROPOSED TO BE DEMOLITION OF THE PROPOSED TO BE DEMOLITION SERVICES.

 THE CONTRACTOR IS RESPONABLE FOR THE DEMOLITION OF STRUCTURES IN THE PROJECT AREA NEEDED TO INSTALL THE IMPROVIDENTS PRESENTED ON THE PLANS. THE CONTRACTOR SHALL REVIEW THE DEMOLITION SCOPE WITH THE OWNER AND/OR GENERAL CONTRACTOR PRIOR TO MINITION OF STRUCTS TO DEJUGLE THE SCOPE IS UNDERSTOOD.

 CONTRACTOR IS RESPONABLE FOR ALL SHORMS, OR OTHER MEETS AND WITHOUT SECURISED OF THE PROPOSED TO DESIDE THE PROPOSED TO SERVICE SHALL SHORT OF SECURISED OF THE PROPOSED TO THE PROPOSED TO ASSIST STRUCTURES AND THE PROPOSED TO ASSIST STRUCTURES, AS FILLD CONDITIONS DETAILS.

 THE CONTRACTOR SHALL DESIDE THAT ALL PERMITS, LEMPANCES, AND APPROVALS HAVE BEEN OBTAINED, AND THAT ALL INSPECTIONS, SHETY PRECOUTIONS, UTILITY DISCONNECTS HAVE BEEN COMPLETED BEFORE PROPOSED WITH WITH WORK.

- 4. THE CONTINUED SHALL BESIDES THAT ALL PERMITS, CLEARANCES, AND APPROVALS HAVE BEEN ORIHINDED, AND THAT ALL INSPECTIORS, SETTIFF PRECAUTIONS, UTILITY DISCONNECTS HAVE BEEN ORIHINDED. PROCEDURG WITH WORK.

 1. IT SHALL BE THE CONTINUED ON THE WITHOUT STANDARD SHOPE BEEN CONFIDENCED TO ANY ECONOMISM ON THESE STILLS.

 1. IT SHALL BE THE CONTINUED ON THE WITHOUT SHALL ALSO ROPEPHOENTS FOR CONSTRUCTION SHATE AND SERVE REPREMENTS TO WORK OF THE WITHOUT SHAPE AND THE CONTINUED ON THE WITHOUT SHAPE AND THE CONTINUED ON THE WITHOUT SHAPE AND THE CONTINUED AND ALL RULES AND REGULATIONS THAT APPARTMENT.

 2. CONTINUED SHAPE BE RESPONSIBLE FOR PROVIDING A SECURE SITE.

 3. CONTINUED SHAPE SHAPE FOR PROVIDING OF THE PUBLIC AT ALL TIMES.

 4. OCHTINUED SHAPE SHAPE FOR PROVIDING OF THE PUBLIC AT ALL TIMES.

 5. CONTINUED SHAPE SHAPE FOR DISABLE FOR PROTECTION OF THE PUBLIC AT ALL TIMES.

 6. CONTINUED SHAPE SHAPE FOR PROVIDING ASSECURE SITE.

 7. OCHTINUED SHAPE SHAPE FOR PROVIDING AND SHAPE PROPERTIES AT ALL TIMES.

 8. CONTINUED SHAPE SHAPE FOR CONSISTANT ALL TIMES SHAPE SHAPE

GENERAL SITE UTILITY NOTES

- CENERAL SITE UTILITY NOTES

 1. IT SHALL BE THE CONTINUENCES RESPONSEBILITY TO NOTEY UTILITY YORE-OAL! NUMBER 72 HOURS PRIOR TO MY EXCLUSION ON THE STEE CONTINUENCES SHALL AS O NOTEY DEPONENTLY NOTIFY LOCAL WATER AND SHAPE OF A CONTINUENCES THE CONTINUENCES SHALL AS O NOTEY DEPONENT HOURS HAVE AND SHAPE OF A LINEAR SHALL AS ONOTEY DEPONENT TO MAKE OUT THEIR UTILITIES.

 1. LOCATION OF ALL DISTING NOW PROPOSED STRONGS ME APPROXIMATE NOW MUST BE CONFIRMED INDEPONDENT WHIT LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCLUSIONS, SMARTY STRENG AND ALL INTERPORT OF LOCAL COMMENCEMENT OF ANY CONSTRUCTION ALL INDEPONDENT WHITE STRONGS AND ALL INTERPORT OF THE COMMENCEMENT OF TO CONSTRUCTION ALL INDEPENDENT HOR THE CONTINUENCE OF A LINEAR SHALL BE CONTINUED AND ALL INDEPENDENT HORSE SHALL BE RELD VERRIED BY TEST IN PRIOR FOR COMMENCEMENT OF CONSTRUCTION ALL INDEPENDENT OF COMPANIES HAVE BEEN AND ALL INDEPENDENT OF CONTINUENCE ON THE CONTINUES HAVE BEEN AND ALL INDEPENDENT OF SERVICE.

 8. RECET TO ACRESTICATION OF THE ALL ORDINARY OF RECEIVE AND ALL INDEPENDENT OF THE CONTINUES HAVE BEEN AND ALL INDEPENDENT OF ANY DISCUSSION OF SERVICE.

 8. RECET TO ACRESTICATION OF THE ALL ORDINARY OF THE CONTINUES HAVE BEEN AND ALL ORDINARY OF SERVICE.

 8. CONTINUES AND ALL BEEN AND ALL BE RESPONDED HAVE THE PROPOSED BANK.

 8. CONTINUES AND ALL BEEN AND ALL BEEN AND ALL BE RESPONDED TO SERVICE.

 8. CONTINUES AND ALL BEEN AND ALL BEEN AND ALL BE RESPONDED TO SERVICE.

 9. THE CENTRAL CONTINUES AND ALL BE RESPONDED TO THE SOURCE HAVE BEEN AND AND AND AND ALL BEEN AND A

- FULSI WITH PARAMENT OR CONCRETE GRADE.

 SECURIETY CLOSE ALL OPEN LOSS OF THE PIPE AND ANY FITTINGS WITH A WATERTIGHT PLUC WHEN WORK IS NOT IN PROCRESS.

 NOT IN PROCRESS.

 HE DEFLICTION OF PIE COURTS AND CURNATURE OF PIPE SHALL AND DUCED THE UNDE STRINGENT OF THE DEFLICATION OF THE COURTS AND THE COURTS AND THE CONTRACTOR SHALL CONCRETE ON THE WATER AND SERVICE CONNECTIONS WILT BE ITSTITLE AND WITHOUT COMPANY ON WEIGHTRE ALTERNA AND SERVICE CONNECTIONS WILT BE ITSTITLE AND WITHOUT COMPANY ON WEIGHTRE ALTERNA AND SERVICE CONNECTIONS WILT BE ITSTITLE AND WITHOUT COMPANY ON WEIGHTRE ALTERNA AND SERVICE CONNECTIONS WILL BE OFFICE UNITED AND WITHOUT COMPANY ON WEIGHTRE ALTERNA AND SERVICE CONNECTIONS WILL SEE ITSTITLE AND WITHOUT COMPANY OF SHALL BE CLOSED AND THE CONTRACTORS WILL NOTICY THE ATTEMPT OF THE PIPE HE WEIGHT SERVICE OF SHALL BE CLOSED AND THE CONTRACTORS WILL NOTICY THE ATTEMPT OF THE PIPE HE WEIGHT SERVICE OF SHALL CONNECTIONS WILL CONNECTION SHALL CONNECTIONS AND CONTRACTOR SHALL CONNECTIONS WILL CONNECTION SHALL CONNECTION SHALL CONNECTIONS AND CONTRACTOR SHALL CONNECTIONS WILL CONNECTION SHALL CONNECTION SHALL CONNECTIONS OF THE SHALL ON THE PLUSTED OVER LONGERGROUND LITTLESS.

 SHE CONTRACTOR SHALL CONNECT HE MUNICIPALITY'S INSPECTION OFFICE TO INSURE ALL REQUIRED IN SPECTIONS ARE COORDINATED.

 THE CONTRACTOR SHALL CONNECT HE MUNICIPALITY'S INSPECTION SHAPOON OF THE PLUSTED OVER LONGERGROUND LITTLESS.

 SHE CONTRACTOR SHALL CONNECT HE MUNICIPALITY'S INSPECTION OFFICE TO INSURE ALL REQUIRED BY COORDINATE TO SHAPOON OF THE WATER SHALL BE COMPATION OF THE AND THE SHAPOON OF THE WATER SHAPOON OF THE OWNER SHAPOON OF THE WATER SHAPOON OF THE WATER SHAPOON OF THE OWNER SHAPOON OF THE WATER SHALL BE COMPATION OF THE WATER SHAPOON OF THE WAT

GENERAL SITE DRAINAGE NOTES

- 1. ALL METS SHALL BE INSTALLED SO THAT ANY TOP UNIT ADJUSTMENT WILL NOT RESULT IN MORE THAN 1—NOO! OVERHANG IN ANY LOCATION ON THE PRECAST BOX.

 2. ALL DRAWGE METS SHALL BE PROMODI PRECAST BOX.

 2. ALL DRAWGE METS SHALL BE PROMODI PRECAST BOX.

 3. ALL NILES SHALL BE PRACED AND ANY PPE TRIMMED TO BE FLUSH WITH THE INTERIOR MEDICAL SHAPE AND TO PROVIDE SHALL BE PROVIDED WITH MITTEAN LODGE/STIPS.

 3. ALL NILES SHALL BE PRACED AND ANY PPE TRIMMED TO BE FLUSH WITH THE INTERIOR MALL OF THE NILE. IN FISHION MALL OF THE NILE OF THE NILE

- MANUFACTURER'S RECOMMENDATIONS.

 AN OPENS WHILL SHE CLEMED PROOF OF TOWNOVER.

 PRES SHALL BE CLEMED PROOF TO TURNOVER.

 ALL PPE COVER SHALL INCET MANUFACTURER'S RECOMMENDATION.

 ANT CHANGES IN PPE MAINTERL (CYCHOPE) SHALL USE PROPER FITTINGS AND CONNECTIONS METHODS.

 ALL DRAINGE WORK SHALL DCCUR FROM THE LOWEST INVERT WORKING UPSLOPE. RUNOFF SHALL NOT BE DIRECTED TO OPEN TEROMED SHALL COURT FROM THE LOWEST INVERT WORKING UPSLOPE. RUNOFF SHALL NOT BE DIRECTED TO OPEN TEROMED SHARLOW CONSTRUCTION.

GENERAL SITE RETAINING WALL NOTES

- RETAINING WALLS THAT ARE SHOWN IN THIS PLAN ARE PROVIDED TO LLUSTRATE THE LOCATION AND ELEVATIONS OF THE WALL AND ANY INFORMATION DEPICTED IS NOT A STRUCTURAL DESIGN. RETAINING WALLS ARE TO BE COESIDED AND PERMITTED BY OTHERS.

 2. THE TIPE OF WALL ELEVATIONS LISTED ON THIS PLAN ARE THE MINIMUM GRADE OF THE WALL BASED ON THE PROPOSED GROSS. ACTUAL CONSTRUCTED TOP OF WALL ELEVATION MAY BE HIGHER DEPENDING ON THE TIPE OF WALL AND DESIGN OF THE WALL.

 3. BY (BOTTOM OF WALL) ELEVATIONS LISTED ON THIS PLAN ARE TO GRADE, AND DOES NOT DEPICT THE FOUNDATION GOOD.

 4. WALL SHAPE LIBE DESIGNED TO ACCOUNT FOR POTENTIAL VEHICLE IMPACT ON ANY GUIDERAL AT THE TOP OF

- WALLS SHALL BE DESIGNED TO ACCOUNT FOR FOTENTIAL VEHICLE MEACT ON ANY GUIDEBUL AT THE HIN HE WALL
 FIRE PROJECTS IN WHICH THERE ARE VEHICLAR MOVEMENTS WITHIN 12-TEET TO THE TOP OF A RETAINING
 WALL 32' OR GOATER IN HEIGHT, THE CONTRACTOR SHALL INSTALL GUIDEBUL. THE GUIDE MAL TYPE,
 WALL 32' OR GOATER IN HEIGHT, THE CONTRACTOR SHALL INSTALL GUIDEBUL. THAT GUIDEBUL THE GUIDE MALL SHALL
 BE PROMICE WITH A GUIDEBUL AUGUST OF THE FORWER OFTO ON THE PLANS.
 BE RENNING AND HOMOSOFE WALLS SHALL BE PROVIDED HITH A DRAIN. THE DRAIN SHALL BAUTHOUT, OR BE
 TIED INTO THE SITE OR STREET DRAINGE STISTEM, DRAIN SHALL BE PROVIDED BEHIND THE WALL WITH
 CLEAN STONC.
 WALLS DOCTORS D'S—NOVES IN HEIGHT, OR AS OTHERWISE DICTATED BY STATE OR LOCAL CODE, SHALL BE
 CONTRACTOR SHALL PROVIDE A SUBMITTAL OF THE FENCE FOR APPROVAL PROR TO GROEENIG.
 WALLD DESCRIPT SHALL ENSURE FENCE IS NICLUBED IN THE DESIGN AS REQUIRED.

GRADING NOTES

- CRADING NOTES

 1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLAIS AND SPECIFICATIONS AND THE RECOMMENDATIONS STATE FORTH IN THE SOLS REPORT REFERENCED IN THIS PLAN SIT. THE CONTINUENCE AND SECRETARIES AS SPECIFICATION IN THE STATE STATE. THE CONTINUENCE AND SHAPE STATE STA

- PREQUENCING LOS RUS, RUS, ERG, TC. TO REMAIN SHALL BE RESCIT FULSH WITH PROPOSED GOALD.

 11. ALL PANNE AND GROUNG CONSTRUCTION ACTIVITIES SHALL BET THE REQUIREMENTS OF THE MUNICIPALITY.

 12. ALL GROUD SLOPES SHALL BE GOALDE TO A SIONE OF JAH'Y OR FAITRE MULESS OHERWINES ROTED ON

 THE PLANS. IN INSTRUCTS HERE EN EDUCE IS TESTEPT WAN SHALL, HE SOFT SHALL BE STABLEZED.
- THE PUNS. IN INSTANCES WHERE HE SUDE IS SIEDERY HOW, THE YOU'RE SHALL BE SHAULZED MECKDRIFT WHITE SHALL BE SHAULZED MECKDRIFT HE SEED AND CROSSON CONTROL MATTERS FIRST HE SHALL BE THE WARRYSTERS FOR THE SHALL BE SHAULZED HOURS FOR THE SHALL BE SHAULZED HOUSE FOR THE SHALL BE SHAULZED HOUSE FOR THE SHAULZED HOUSE FOR THE
- BETTER.

 1. AREAS TO REMAN SHALL BE PROTECTED.

 1. THE CONTRACTOR SHALL BESIDE THAT ALL PLANTING AND AREAS ARE NOT COMPACTED AND THAT THEY DO NOT CONTAIN MAREAUS. THAT WILL BE AN IMPEDIMENT TO THE GROWTH OF ANY PROPOSED LANDSCAPPING.

 10. THE CONTRACTOR SHOLLD NOTE THAT DEWARDERNO MAY BE REQUIRED DEPOIDING ON THE SEASON IN WHICH CONSTRUCTION COLUMN.

 1. GROWING DURING CONSTRUCTION AND FOR FINAL GRADE SHALL BE CONDUCTED IN SUCH A MANIFER THAT THERE THIS OPHORISM OF WATER AND THAT REMOST EXPONENTIAL THE CONTRACTOR SHALL IMPROVE NECESSARY MEASURES TO PROTECT BASIN, DRAINGE AND STRUCTURES AND THAT REMOST CONTRACTOR SHALL IMPROVE NECESSARY MEASURES TO PROTECT BASIN, DRAINGE AND STRUCTURES AREAS.
- S INSICTURE AREAS.

 18. PEPERABATION OF A EXPIRICANICAL REPORT WAS NOT IN CCEA'S PROMDED SCOPE TO THE CLIENT AND TO THE KNOWLEDGE OF CCEA. A COTTO-WINCAL REPORT HAS NOT BEEN PROVIDED. THEREFORE IT SHALL BE THE CONFIRENCES REPORTSBUILTY OF LEVERY ANY BEARMAP PRESSURES NO SOLI CONDITIONS PROVIDED IN STRUCTURAL IMPROVEMENTS OR COORDINATE WITH THE CLIENT TO OBTAIN FURTHER INSTRUMENTS.

ADA SITE CONSTRUCTION NOTES

- THE CONTRACTOR SHALL REPORT HE INTEREST CONSTRUCTION WITH THE LOCAL BILLDING CODE OFFICIAL, OR FORDAL RESPONSIBLE FOR THE EXPLORE AND INSECTIONS OF MAN ELEMENTS, PRIOR TO COMMENCING WORK. SHOULD AN MODIFICATION SEE REVERED TO ALE ALEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN DESCRIPTION OF THE MODIFICATION NETIFIED TO THE ARCHITECT OR BUGNESS.

 CONCRETE USED FOR AND ELEMENTS SHALL PROMOSE FOR A SMOOTH, SUP RESISTANT FAMISH OR AS REQUIRED BY THE LOCAL AUTHORITY.

 CONTRACTOR SHALL VERRY SOURCE AND STRIPING PRIOR TO INSELLATION.

 BY COMPLETING AND INSELLATION FOR THE PROJECT, THE CONTRACTOR ACCORDINGDESS THAT THEY ARE EXPRENDED IN INSTITUTION OF AND ELEMENTS IN THE PROJECT LIBESCITION AND UNDERSTAND THE LEVEL OF ACCURACY AND FAMINING REQUIRED BY THE CONTRACTOR TO COMPLETE THE WORK.

 WHERE AND ACCUSSIBLE ROUTES TO DESTINIS SHORMAN IS NOT PROVIDED ON THE WORK.

 WHERE AND ACCUSSIBLE ROUTES TO DESTINIS SHORMAN IS NOT PROVIDED THE MORE.

 WHERE AND ACCUSSIBLE ROUTES TO DESTINIS SHORMAN IS NOT PROVIDED ON THE PRICE CONTRACTOR.

 RECURSIDED BY ACCUSING THE MERCHAND OF THE REQUIRED AND FERGURESTED BY THE CONTRACTOR SHALL REQUISED THE SAME FROM THE ARCHITECT OR ENGINEER, AND THE OWNER.

SITE ADA NOTES

- SITE AUA NOTICES

 1. THE CONTRACTOR SHALL REMENT THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, OR OFFICIAL RESPONSIBLE FOR THE REVIEW AND INSPECTION OF JOAN ELEMENTS, PRIOR TO COMMENCING WORK. SHOULD NAY MODIFICATIONS BE REPEAT OF JOAN ELEMENTS, THE CONTRACTOR SHALL PROVIDE A WRITTEN CONTRACTOR IS RESPONSIBLE FOR THE REVIEW AND FAILABLE CONTRACTOR SHALL PROVIDE FOR THE PRIOR OF JOAN ELEMENTS DEBINDED ON THE PAIN, OR AREAS OTHERWISE DESIGNATED OR THYPICAL FOR AND USE; AND SHALL PRACTICE APPROPRIATE ATTENTION AND PRECISION IN CONSTRUCTION OF FAILABLE FOR THE RESIT. THE CONSTRUCTION OF THESE COMPONENTS FOR FOR AND ACCESSED COMPONENTS FOR SITE PROVIDED THE SITE. THE CONSTRUCTION OF THESE COMPONENTS WIST COMPLY WITH LOCAL STATE AND TEEDERS. STANDARDS. IN THE PRIOR OF A CONSTRUCT DEPENDENT THE STANDARDS. IN THE PRIOR OF A CONSTRUCTION OF THE SITE. THE CONSTRUCTION OF THE SITE PROVIDED ON THE SITE PROVIDED ON THE STANDARDS. IN THE PRIOR OF A CONSTRUCT DEPENDENT OF THE STANDARDS. IN THE PRIOR OF A CONSTRUCT OF SHALL COMPLY WITH, BUT ARE NOT DESIGNATED ACCESSED. BUILDING CHEMICAL PROVIDED OF THE AND ACCESSED. BUILDING BELOW.

 A PARKING SPACES AND PARKING ASSES USED FOR AND SPACES ARE NOT DOCKED A SUPPLE OF THE APPROPRIATE SHOWLE YOU AND STRIPPED FOR AND BOTTOM OF RAWRS AND SHALL NOT DOCKED 1-88 LEVEL FOR THE TOTO OR NOWMENTY 200X) IN ANY DESCRIPPING. SHALL BE A MINIMUM LENGTH OF SK (6) FEET. LANDARDS SHALL BE A MINIMUM LENGTH OF SK (6) FEET.

- APPROPRIATE SONACE AND STRIPPIO PER AND STANARADOS.

 B. CURB BANNE ARE NOT TO DECEDE A SLOPE OF 112 (B.33) FOR A MAXIMUM LENGTH OF SIX (6) FEET.

 C. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF RAMPS AND SHALL NOT DECED 1:48

 () (14" PER FOOT OR NOMINALLY 2002) CHOICES SHOPE CHANNINGS SHALL BE A NANIMUM SEC 95 -FEET

 WICE BY 5-TEET LONG. LANDINGS SHALL BE CONSTRUCTED SO THAT THERE IS NO PORTING TO SHAPE

 THE LANDING AREA ASSESSMENT 2002 CHANNING SHALL BE A NANIMUM SEC 95 -FEET

 WICE BY 5-TEET LONG. LANDINGS SHALL BE CONSTRUCTED STAN THERE IS NO PORTING TO SHAPE

 THE LANDING AREA CONSTRUCT AND SHAPE TO SHAPE IS NO PORTING TO SHAPE IS NO PORTING TO SHAPE IN SHAPE I

SPRINGFIELD TOWNSHIP NOTES

- THE TOWNSHIP DISNETE SHALL BE NOTIFED 24 HOURS IN ADMINIST OF THE COMMINICATION OF ANY CONSTRUCTION OFFERINGS, SICK AS DROWN, STREY INSTITULATION OF PHYRICE, IN CORDS THAT PROVISION WAY IS MADE FOR THE PROPER INSTITUTION OF SHALL CONSTRUCTION OF THE SHALL BE FURNISHED TO THE PROPER OFFICERS AND BEFORE SHALL BE FURNISHED TO THE PROPE OFFICERS AND BEFORE SHALL BE FURNISHED TO THE PROVISIONS OF THE TOWNSHIP.

 2. THE CRAWTING OF ANY PERMIT HEREUNDER SHALL NOT HOUSE UPON THE TOWNSHIP ANY GREATING AND WAY OF THE TOWNSHIP ANY GREAT OF THE MICHAEL SHALL CONTINUES SHALL BE FURNISHED ANY GREAT OF THE TOWN CONTINUES AND THE TOWN OF THE TOWN SHIP ANY GREAT OF THE TOWN CONTINUES AND THE TOWN OF THE TOWN OF

WHITEMARSH TOWNSHIP NOTES

1. PERMITS WILL BE REQUIRED FOR THE WORK COMPLETED IN THE WHITEMARSH PORTION OF THE PROJECT. THE PROJECT WILL REQUIRE A BUILDING/ZONING PERMIT AND AN EARTH DISTURBANCE PERMIT.

0

> 70 4

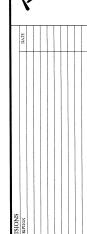
7=

0 4

FIRST CAPITAL REALTY, INC.

ving Street . Al

76 N. Irv Phone:



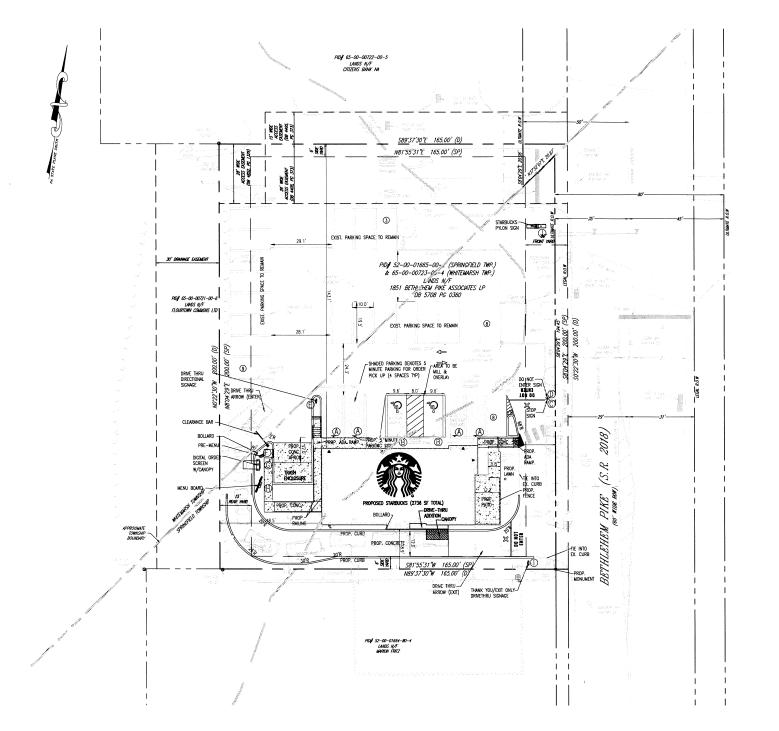


PROJECT LOCATION

1851 BETHI FHEM PIKE FLOURTOWN
SPRINGFIELD TOWNSHIP
WHITEMARSH TOWNSHII
MONTGOMERY COUNTY
PENNSYLVANIA

> TITLE NOTES

23-6381 DATE 07-17-23-6381 DRN BY KPD SHEET 2 OF 11



GRAPHIC SCALE

GENERAL NOTES:

1. THIS PLAN REFERENCE A SURVEY

2. SITE INFORMATION: SOURCE OF TITLE DB 5708, PC 0.360
APN/TAX ID 55-00-01965-00-0.2 SPRINGFILD TWP 65-00-0273-00-4 WHITEMARSH TWP 185 BETREJEH PIKE FLURIFOWN SPRINGFILD TOWNSHIP WINDTOGENER COUNTY PENNSTYLANIA 19031

- 3. PROJECT IS A RE-DEPLICIPACITY AND IS JUNITED TO RECONFIGURATION OF THE DRIVE THRU LAME AND THE ADDITION OF A TRASH SHALOSJISE

 PROPERTY IS COUNTED IN TEAH FLOOD MAP ZONE AE/ZONE X. PER THE MAP ENITTLED TRAIN, FLOOD INSURANCE RATE MAP INAUTROMERY COLUMN, FEMINSTLAWAN (M.L. JUREDICTIONS) PANEL 377 OF 451, MAP INAUGRE AND CONTROL STATE OF THE AND THE ADDITION OF THE MESSA HIGHON CREEK

 5. THE DEED BNICLATES THAT THIS IS ONE PARCEL, DESPITE TWO TAX PARCELS

 7. EXISTING BULDING TO REMAIN.

ZONING INFORMATION (SPRINGFIELD TOWNSHIP):

USE
ZONING DISTRICT: B2 BUSINESS – PERMITTED USE
EXISTING USE: FINANCIAL INSTITUTION W/DRIVE THRU
PRIOR USE: DONATO'S RESTAURANT
PROPOSED USE: RESTAURANT WITH DRIVE THRU

BILLY DEVILLERMENTS

DULK KEQUIKEN	MEINIO			
	REQUIRED	EXISTING	PROPOSED	SPRINGFIELD ONLY
MIN. LOT SIZE	1600 SF	33,000 SF	33,000 SF	18,687
MIN. LOT WIDTH	40"	200"	200'	40.67
MAX BLDG. COVER	70%	8% (2655 SF)	8% (2736 SF)	14.6% (2736 SF)
SETBACKS:				
FRONT	20'	36.8'	36.8"	36.8
SIDE	6'	18.9"	18.9'	18.9'
REAR	15"	48.5	48.5	48.5

IMPERVIOUS SURFACE NOTE

PROPOSED IMPERVIOUS	25,785 SF 25,669 SF 116 SF	14,714 SF 14,598 SF 116 SF
PROPOSED IMPERVIOUS IN FLOODPLAIN	18,079 SF 17,660 SF	8,439 SF 8,020 SF
	EXISTING IMPERMOUS PROPOSED IMPERMOUS A REDUCTION OF IMPERVIOUS EXISTING IMPERVIOUS IN FLOODPLAIN PROPOSED IMPERVIOUS IN FLOODPLAIN	A REDUCTION OF IMPERVIOUS 116 SF EXISTING IMPERVIOUS IN FLOODPLAIN 18,079 SF PROPOSED IMPERVIOUS IN FLOODPLAIN 17,660 SF

PARKING

SPRINGFIELD TWP
PER 114-134 A (4) RESTAURANT
1 SP PER 50 SF: 1 PER 50 / 2736 = 55 SPACES REQUIRED

EXISTING PARKING SPACES = 28 SPACES EXISTING NON-CONFORMITY DUE TO PRIOR RESTAURANT USE.

SPRINGFIELD TOWNSHIP NOTES

- I. THE TOWNSHIP ENGINEER SHALL BE NOTITIED 24 HOUSE IN ADMINIST OF THE COMMONICIAENT OF ANY CONSTRUCTION OPERATION, SUCH AS GRADING, SENER INSTALLATION OF PARING, IN ORDER THAT PROVISION MAY BE MADE FOR THE PROPER IN SEPECTION OF SUCH CONSTRUCTION OPERATION, SAMPLES OF MATERIALS AS EXPERT REASONABLE FACILITY FOR ACCEPTATION WHITTEN THE WORK IS IN CONFORMITY WITH THE PROVISION OF THIS CHAPTER SHALL BE FURNISHED TO THE PROPER OFFERES AND EMPLOYES OF THE TOWNSHIP IN THE SAME WANKER AS IS REQUIRED OF CONTRACTORS WORT THE TERMS OF THE HONINGY SECRIFICATIONS OF THE TOWNSHIP AND THE PROPER SHALL BE FURNISHED AND LINES UPON THE HORSHIP AND SECRIFICATIONS OF THE PROPER SHALL BE FURNISHED AND SECRIFICATIONS OF THE PROPER SHAPER, UNIVERSITY APPROVED AND THE MORN SHAPE OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY PERFORMING HORSE FOR THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY PERFORMENT OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY PERFORMENT OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY OF THE WORK CONFERD THERBY AS A PURILE IMPROPAGATION FOR ANY OF THE WORK CONFERD THE PURILE IMPROVED AND THE RADIO SHALL HAVE NO RESPONSIBILITY OF ANY KNOW WITH RESPECT TO ANY STREET, ROAD, DRANNAGE FACILITY OR OTHER PURILE IMPROVEMENT, NORMITISTATIONS ANY USE THERBOFF BY THE PUBLIC, UNLESS IT HAS SEED DULY APPROVED AND ACCEPTED BY THE BOARD.

SIGNAGE
SIGNAGE TO BE DESIGNED AND PERMITTED BY STARBUCKS SIGNAGE VENDER. SIGNS SHOWN ON THIS PLAN ARE
FOR REFERENCE ONLY

TRAFFIC SIGNAGE LEGEND

- A) ORDER PICK UP 5 MINUTE PARKING

 (E) EXISTING ADA PARKING

 (C) STOP

 (D) NOT ENTER

SITE SIGNAGE LEGEND(TO BE SUBMITTED BY OTHERS)

- DRIVE THRU DIRECTIONAL
 PRE MENU BOARD
 DIGITAL ORDER SCREEN W/CANDPY
 MENU BOARD
 DRIVE THRU EXIT—THANK YOU
 STARBUCKS PYLON SIGN

FIRST CAPITAL REALTY, INC.

COLUMNIA CONSULTATION CONSULTING ENGINEERS & Architectural, Inc.



PROJECT LOCATION

1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

TITLE

SITE PLAN

SHEET 3 OF 11

SERIAL NUMBER: 20223181869 SERIAL NUMBER: 20223181870

(IN FEET) 1 inch = 20 ft.

LEGEND & ABBREVIATIONS

----- RIGHT OF WAY LINE ---- BUILDING SETBACK LINE 95 EXISTING CONTOUR

x 95 EXISTING SPOT ELEVATION EXISTING TREELINE EXISTING FENCE --- OH --- -- EXISTING OVERHEAD WIRE --- G --- APPROX. UNDERGROUND GAS LINE — — W — — APPROX. UNDERGROUND WATER LINE
— — C — — APPROX. UNDERGROUND TELCO LINE --- S --- APPROX. UNDERGROUND SANITARY LINE EXISTING CURB EXISTING SIGN EXISTING UTILITY POLE (UP) CONDUIT - TRANSFORMER LIGHT - METER - BOX GUY WIRE LANDSCAPE AREA 3 # @ Ø © E LAMP POST STORM MANHOLE COMMUNICATION MANHOLE WATER MANHOLE UNKNOWN MANHOLE TANK UD STORM INLET GAS METER WATER METER TRAFFIC SIGNAL BOX ELECTRIC VAULT ELECTRIC METER GAS VALVE CLEAN OUT MONITORING WELL 0 CONCRETE MONUMENT FOUND IRON PIPE FOUND NAIL FOUND STONE FOUND BENCHMARK STATE PLANE

DEFED TO BE REMOVED

NOTES:

- 1. PROPERTY KNOWN AS PIDJ 52-00-01685-00-2 (SPRINGRIELD TWP) & 65-00-00723-00-4 (WHITDMEN'S IMP), 1851 BETHLEFEU PIKE, MONTCOMERY COUNTY, COMMONMENTH OF PENSYNSWAM, ROPH PROCES ARE ONE PARCE OR RECORD, AS RECORDED IN DEED BOOK 5708 PAGE 360, LYING WHITH TWO
- 2. AREA OF PARCEL IS 33,000 SQUARE FEET OR 0.7576 ACRES.
- REPRESENTATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE NOT AS-BULLI LOCATIONS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FEILD ARE SHOWN, ALL LOCATIONS AND SIZES ARE BASED ON UTILITY WARK-OUTS, AND THE WAPS LISTED IN THE REFERENCES ANYAGEL AT THE LICE OF THE SURVEY AND ARE NOT QUANAMEDE. BEFORE ANY DOCATION IS TO BEGIN, ALL UNDERGROUND OTLITES SHOULD BE VERRIED AS TO THEIR LOCATION, SIZE AND TYPE OF THE PROPERT UNITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC., AND OTHER REFERENCE MAIRENA. & SUSTED HERGON. SURVEY & TOPOGROUPED INFORMATION. SHOWN HERGON DERWID FROM A FIELD SURVEY PERFORMED BY CORNERSTONE CONSULTING LITEST DATE NOTHERED 27, 2022.
- DATUM BASED UPON PENNSYLVANIA STATE PLANE SOUTH ZONE 3702 USING HORIZONTAL VALUES FROM NADB3 AND VERTICAL VALUES FROM NAVDB8.
- SITE BENCHMARK IS IRON PIN FOUND, ELEVATION = 148.78°, TO ENSURE THAT HERE HAS BEEN NO AUTENDION OF THE SUNGY BENCHMARK SINCE THE THE OF HE FIELD SURRY, IT IS RECOMMENDED THAT THE CONTRACTOR ESTABLISH A CONSTRUCTION BENCHMARK BASED ON THE SURVEY BENCHMARK AND ELEVATIONS OF OTHER DESTING MEROPAULIENT.
- 8. SUBJECT TO ANY AND ALL EASEMENTS OF RECORD WHETHER SHOWN HEREON OR
- THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP ZONE AE AND OTHER AREAS/ZONE X. MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, MONTCOMERY COUNTY PENINSYLWANA (ALL JURSDICTIONS), PANEL 377 OF 450, MAP NUMBER 4209103776 EFFECTIVE MARCH 2, 2016.
- PURSUANT TO THE FEMA FLOOD INSURANCE REPORT PROFILES THE 100 YR ASE
 (BPE) ELEVATION ARE XX FT AT STATION XX WHICH CORRESPONDS TO THE SITE
 LOCATION
- BOUNDARY RESOLUTION BASED ON FOUND EVIDENCE AND OTHER REFERENCE MATERIALS AS LISTED HEREON AVAILABLE AT THE TIME OF SURVEY.

Consulting Engineers & Architectural, Inc.

FIRST CAPITAL REALTY, INC.

1176 N. Irving Street . Al Phone: 610-820-8200 . F www.cornersto

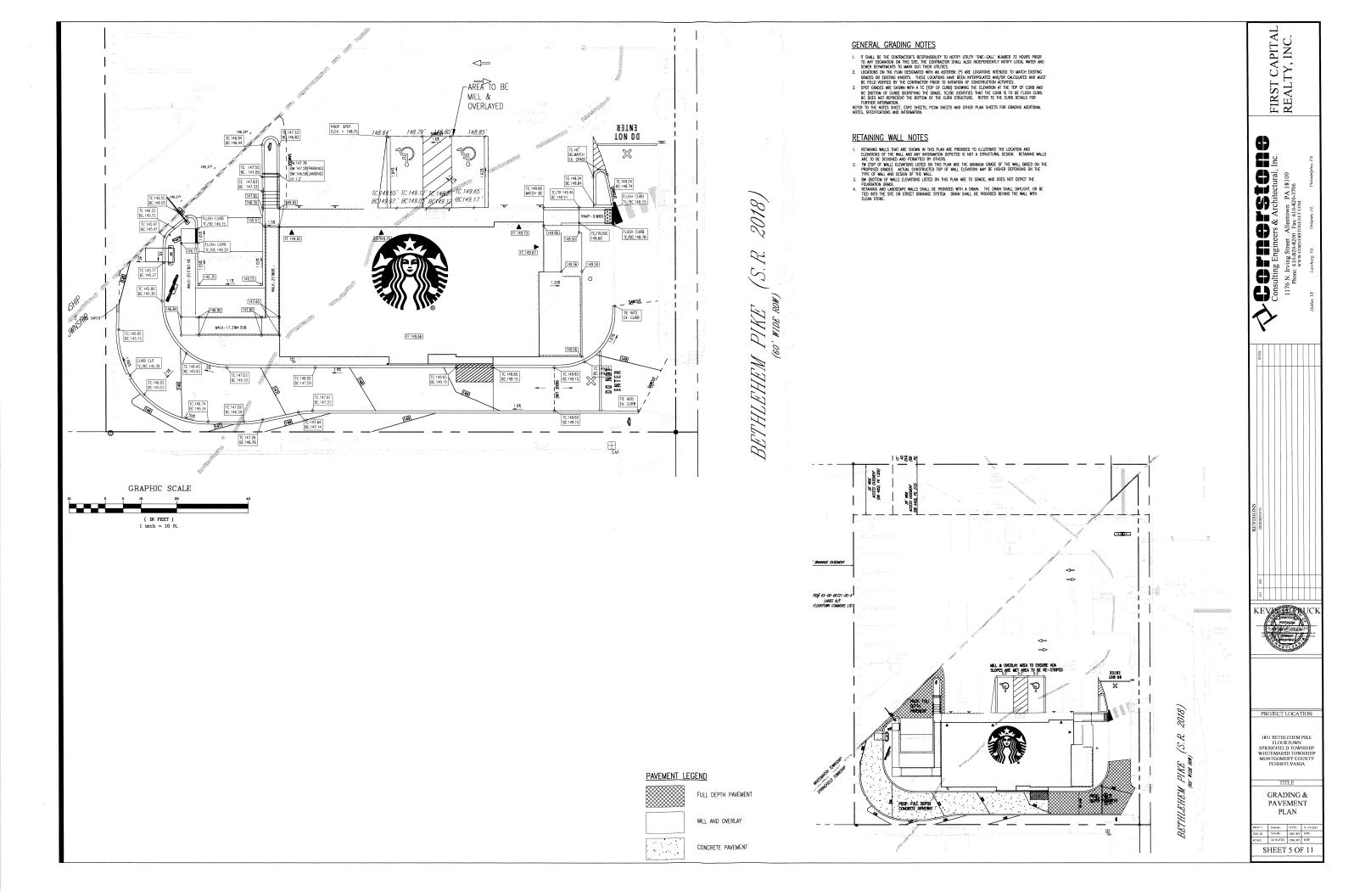


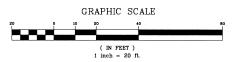
PROJECT LOCATION

1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WIITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

EXISING CONDITIONS & DEMOLITION PLAN

1 = 23-0381 DATE 01-11D 13-0381 DRN BY KP1 LE AS NOTED CISC BY KRE SHEET 4 OF 11





GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL CONTINU LOCATION OF ELECTRIC AND COMMUNICATIONS LINE WITH A SOFT DIG. TO CONTINU THE ELECTRIC SERVICE DOES NOT NEED TO BE RELOCATED. IF THE EXISTING SERVICE CONTLICTS WITH THE PROPOSED BUILDING CONTINUE, THE CONTINUE RESERVED SERVICE SHAPE OF THE RESERVED SERVICE AND CONTINUE AND SHAPE THE STATE APPROXIMATE AND SHAPLED BY THE CONTRACTOR SHALL ASD MORPHORMATY MADERS TO ANY EXCANATION ON THIS STRE. CONTRACTOR SHALL ASD MORPHORMATY MOTIFY LOCAL WATER AND SAYER DEPARTMENTS TO MAKE OUT THEIR UTILITY.

WATER NOTES

- WATER NUTES

 1. THIS PLAN PROPOSES AN INTERNAL METER.
 2. FIRE SEMECE BETWEEN THE MAIN CONNECTION AND BUILDING SHALL BE 6-INCH CLASS 52 CLDIP WITH PUSH ON JOHNS.
 30. THE SEMECE SEMECE SEMECE SEMECE CLORDING WITH DHE BUILDING WITH THE ARCHITECTURAL PLAN.
 40. CONTROL OF THE MAINTE SEMECE (LORDING WITH DHE BUILDING WITH THE ARCHITECTURAL PLAN.
 5. CONTROL OF SHALL CORDINAL ALL MORN METH SEMECE OF THE WATER SEMECE AND FRE UNE.
 6. CONTROL OF SHALL CORDINAL TALL MORN METH SECTIVE OF BETHLERN PUBLIC WORK.
 7. CONTROL OF SHALL CORDINAL ALL MORN METH SECTIVE SEMECES AND LORD SEMECES. NOTIONED BUT NOT WHITE TO SAW CUT, SPRAPEL AND GORDER ENSALLATION, THRUST BLOCKING, METRIALS AND LARDE FOR INSTALLATION, MAYES, WLVE BOXES AND LIDGS, CLEAN UP, TESTING, CONTROLS.
 8. ALL TEES, PLUSS, CAPS, BEIDES, AND HORANT BRANCHES SHOULD BE MESTRAMED ARMS MOMENT, PER CLAMPS AND THE PROSE THE BLOCKS (HERE SOLL) SIMPLE STANGER MAINTS MOMENT, PER CLAMPS AND THE PROSE THE BLOCKS (HERE SOLL) SIMPLE STANGER MAINTS MOMENT, PER CLAMPS AND THE PROSE OF STANDER BLOCKS SHOULD BE USESTIMATED AND METHODS OR DEVICES SHOULD BE USED THE TOP OF PISH-ON JOINTS, MECHANICAL JOINTS UTILIZING SET SCREW RETAINER GLANDS, OR OTHER APPROVED METHODS OR DEVICES SHOULD BE USED THE TYPE OF PIPE USED, SOLL CONDITIONS, AND ANAILABLE SPACE WILL DETERMINE THE BEST METHOD.

SANITARY NOTES

- SMITTURY PIPE SHALL BE SOR 35 CASKYTED SEMER PIPE AND MET ASTN D-7034.

 CORROBINET FINAL LATERAL STUB LOCATIONS WITH THE ARCHITCHING PLAN.

 CONTRACTION SHALL PROVIDE A METAL MANCHEL DI PIAN LETTS CITY OF BETHLEHEM SPECIFICATIONS.

 SMITTURY MANHOLE SHALL LETT CITY OF BETHLEHEM SPECIFICATIONS.

 SMITTURY MANHOLE SHALL LETT CITY OF BETHLEHEM SPECIFICATIONS.

 CONTRACTOR TO MANHOLES SHALL BE WOULD MAN MANHOLE TESTING. CONTRACTOR TO INCLUDE TESTING WITH THE CITY.

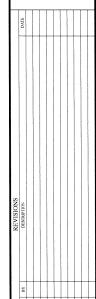
 CONTRACTOR TO NICLUDE ALL WORK NECESSARY TO INSTITUTE THE SEMER LIBES MO MANHOLES, INCLUDING BUT NOT LAMITED TO: SAW CUT, ASPHALT AND CONCRETE DISPOSUR, ASPHALT AND CONCRETE INSTALLATION, MATERIAL SAM DEBOR FOR INSTALLATION, CLEAN UP, ONE CALL, SURVEY STAKEOUT, PROJECT MANAGEMENT AND TRAFTIC CONTROLS.

ELECTRIC NOTES

- ELECTRIC SERVICE IS TO BE PROVIDED BY PPL. CONTRACTOR SHALL COOKDINATE INSTALLATION OF PRIMARY SERVICES AND TRANSFORMER WITH PPL. REFER TO ARCHITECTURAL PLANS TOR SERVICE REQUIREMENTS.
 ALL DETEROL RECTRIC LINES SHALL BE INSTALLED TO ELECTRIC CONDUIT.
 ALL DETEROLA HORK SHALL MEET PPL REQUIREMENTS.

FIRST CAPITAL REALTY, INC.

Consulting Engineers & Architectural, Inc.
1176 N. Invig Street. Allendown. PA 18109
Phone: 610-820-8210 Fax: 610-820-3706
WWW. CORNESSTONINST. COM.





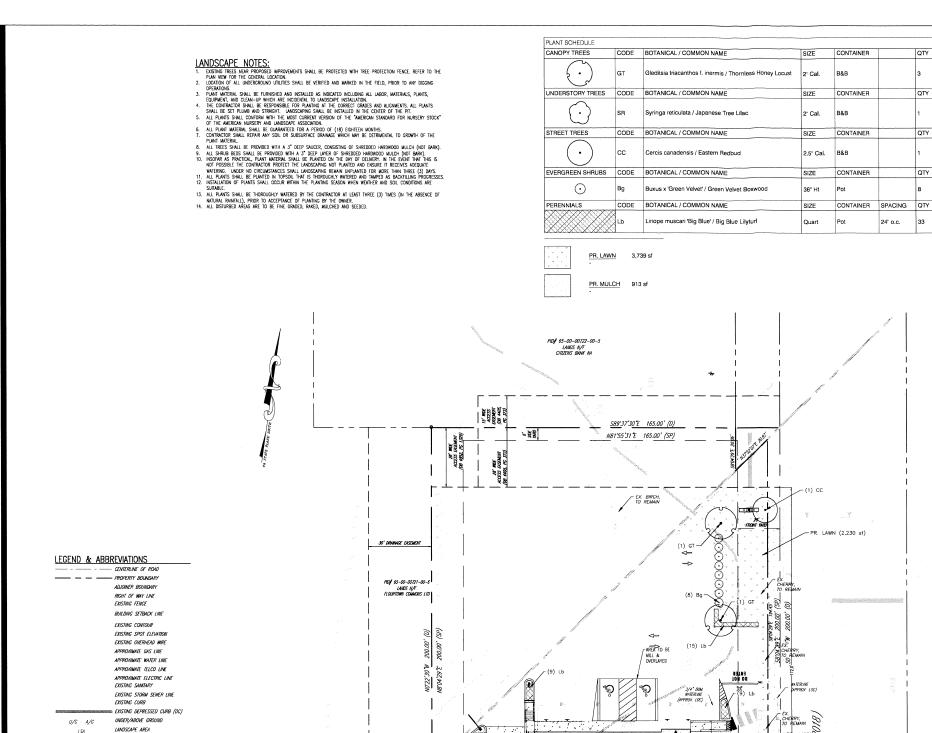
PROJECT LOCATION

1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

UTILITY

PLAN

SHEET 6 OF 11



S81'55'31'W 165.00' (SP) N89'37'30'W 165.00' (D)

PIOF 52-00-01664-80-4 LANDS N/F MARKON FRITZ

PR. LAWN (933 sf)

EXISTING TREELINE EXISTING SIGN

HYDRANT LANDSCAPE AREA LAMP POST STORM MANHOLE SANITARY MANHOLE ELECTRIC MANHOLE

WATER MANHOLE STORM INLET

CAS METER

WATER METER GAS VALVE

WATER VALVE

CONCRETE MONUMENT FOUND

EX. DECIDUOUS TREE - PROPOSED FENCE PROPOSED CONTOUR

GRAPHIC SCALE

(IN FEET) 1 inch = 20 ff

CLEAN OUT

•

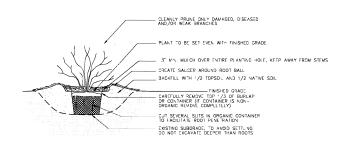
 \odot

	QIY I				
_	<u> </u>		LANDSCAPE COMPLIANCE CHART	REQUIRED	PROVIDED
	3		Springfield zoning district: B-2 Business Whitemarsh zoning district: V-3 Village Commercial 3		
	QTY		B-2 ZONING		
	1		\$95-11.(2) STREET TREES ON STREET THEE SMALL BE PLANTED FOR EACH 35 FEET OF STREET LENGTH 172/35 = 4.9 \$95-11.(1/30) MIERNAL PARKING AREA LANDSCAPING	5 STREET TREES	4 EX. STREET TREES 1 PR. STREET TREE
	QTY	1	[1] FOR EACH 10 PARKING SPACES, AT LEAST 500 SF OF PLANTING AREA SHALL BE		
	1		PROVIDED_COM/ANIMA AT LEAST 2 CAMOPY TREES, 1 UNDERSTORY TREE, 6 SHRURS, AND GROUND COVER. 12 SPACES / 10 = 1.2 12 × 500 ST = 600 ST 1.2 × 2 = 2.4 1.2 x 1 = 1.2	1400 SF LSA 3 CANOPY TREES 2 UNDERSTORY TREES	1400 SF LSA 3 CANOPY TREES 2 UNDERSTORY TREES
	QTY		1.2 x 6 = 7.2	8 SHRUBS GROUNDCOVER	B SHRUBS GROUNDCOVER
		1		GROUNDCOVER	GROUNDCOVER

ERNMX-113 ERNST COMMERCIAL CONSERVATION LAWN MIX SPECIFICATION:

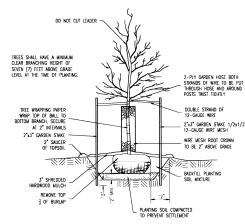
ETTITION ETTITO	STATE OF THE STATE
% Common Name	Scientific Name
25.0% Festuca rubra	Creeping Red Fescue
25.0% Lolium multiflorum	Annual Ryegrass
25.0% Lolium perenne	Perennial Ryegrass, 'Blackcat II'(turf type)
25.0% Lolium perenne	Perennial Ryegrass, 'Fastball RGL'(turf type)
Total: 100%	

- . Recommended coverage is 15lbs per acre.
- 2. Seed mix can be purchased from Ernst Conservation Seeds, Meadville PA 16335, 1 (800) 873-3321
- 3. Hand seeding is recommended and should take place between April 1st and May 15th or between September 1st and October 15th.
- 4. Immediately prior to seeding the soil is to be prepared so as to be free of large clods, evenly smooth, and level. A shallow tilling to a depth of 2 inches is acceptable to break up soils in which the surface has become crusted.
- 5. Planting areas shall be soaked to maintain a consistent level of moisture for at least four (4) to six (6) weeks after seeding.
- 6. After hand seeding, each area is to be rolled to push the seeds into firm contact with the soil and firm the seedbed. A firm seedbed is critical to proper seedling growth. Do not roll the site when the soil is wet. Wait until the soil is drier to avoid compaction. Alternatively a cultipaker could be used to ensure soil to seed contact. If seeding in the fall, this step is not required as the cumulative effect of rain and snow with numerous freeze/thaw cycles will provide the necessary soil to seed contact.
- 7. The seeding is to be mulched with North American Green S-150 BN (biodegradable erosion blanket) and secured with Bio-stakes (biodegradable anchors).



SZETOM 1. WATER THOROUGHLY AFTER INSTALLATION. 2. FOR PLANTING BED INSTALLATION EXCAVATE ENTIRE SHRUB BED AS SHOWN ON PROJECT DRAWINGS

TYPICAL SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING & STAKING DETAIL

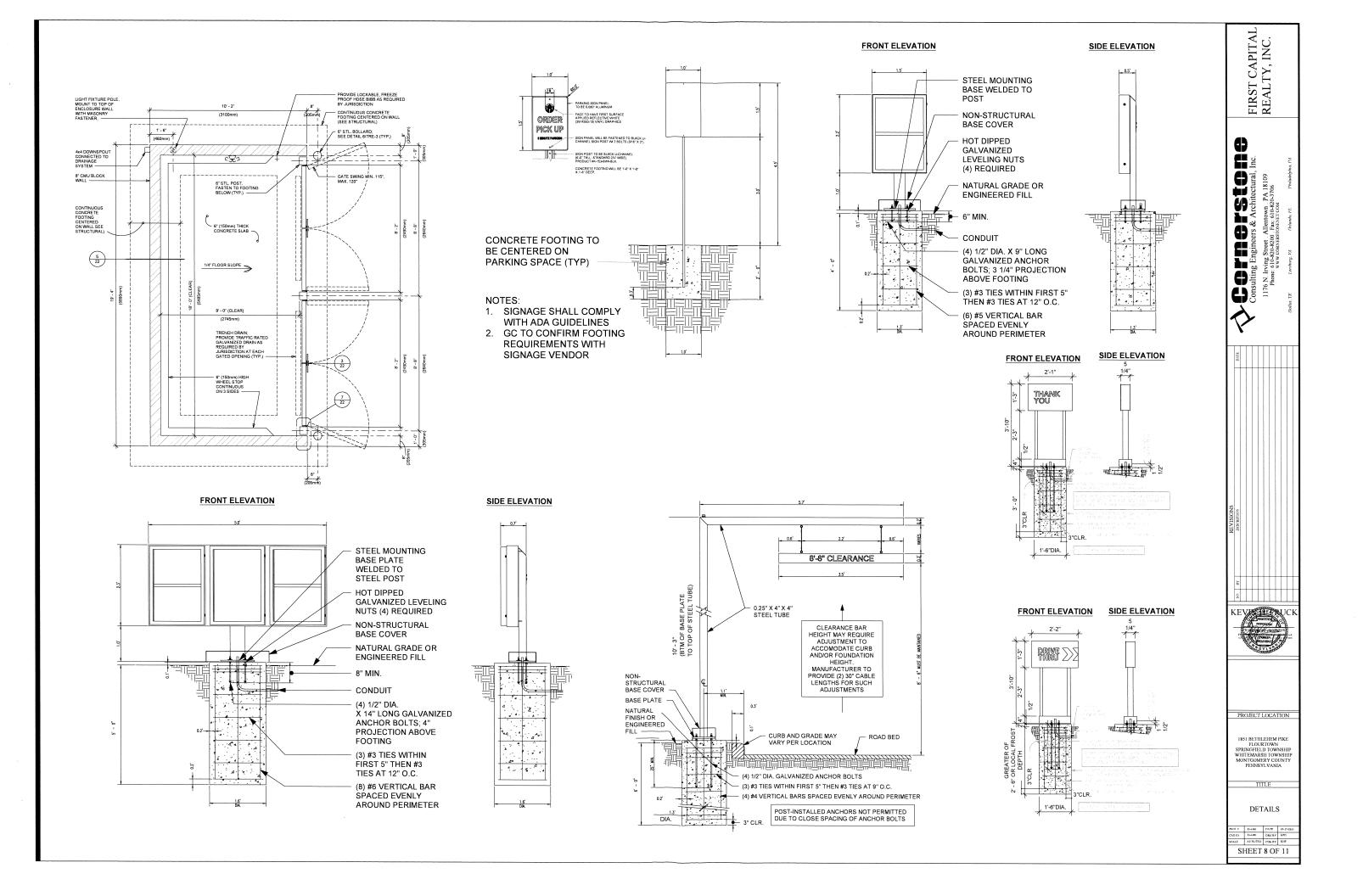
FIRST CAPITAL REALTY, INC. FSTO

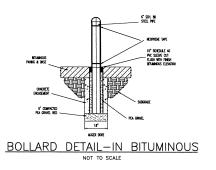
PROJECT LOCATION

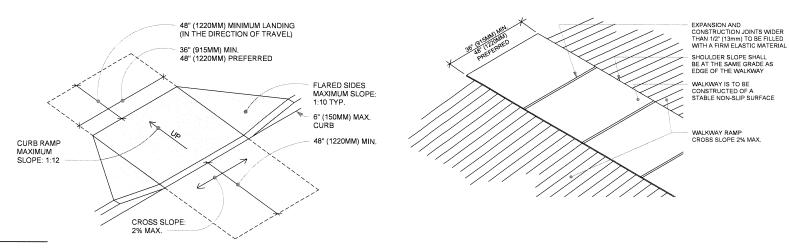
1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

TITLE LANDSCAPE PLAN & DETAILS

ROJ # 23-0381 DATE 07-17-AD IID 23-0381 DRN BY KPD CALE AS NOTED CHK BY KJF SHEET 7 OF 11



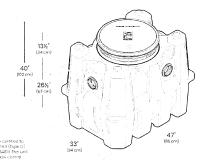




SPECIFICATION AND SUBMITTAL

GB-75 75 GPM Great Basin Indoor/Outdoor Grease Interceptor







SUBMITTAL

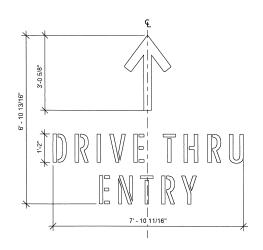
Date:	Company:
Engine	enng Firm

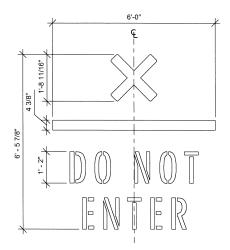
GREASE TRAP SPECIFICATION

NOTES:

1. INSTALL GREASE TRAP PER MANUFACTURER INSTALLATION INSTRUCTIONS.

2. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL ACCESSORIES AND APPURTEMANCES REQUIRED TO PROVIDE A COMPLETE INSTALLATION OF THE SYSTEM.





PAVEMENT MARKINGS

FIRST CAPITAL REALTY, INC.

Consulting Engineers & Architectural, Inc.

1176 N. Irving Street. Allentown. PA 18109
Phone. 610-82500. Fax. 6180-820-3706
www.con.estro.ox.est.com.

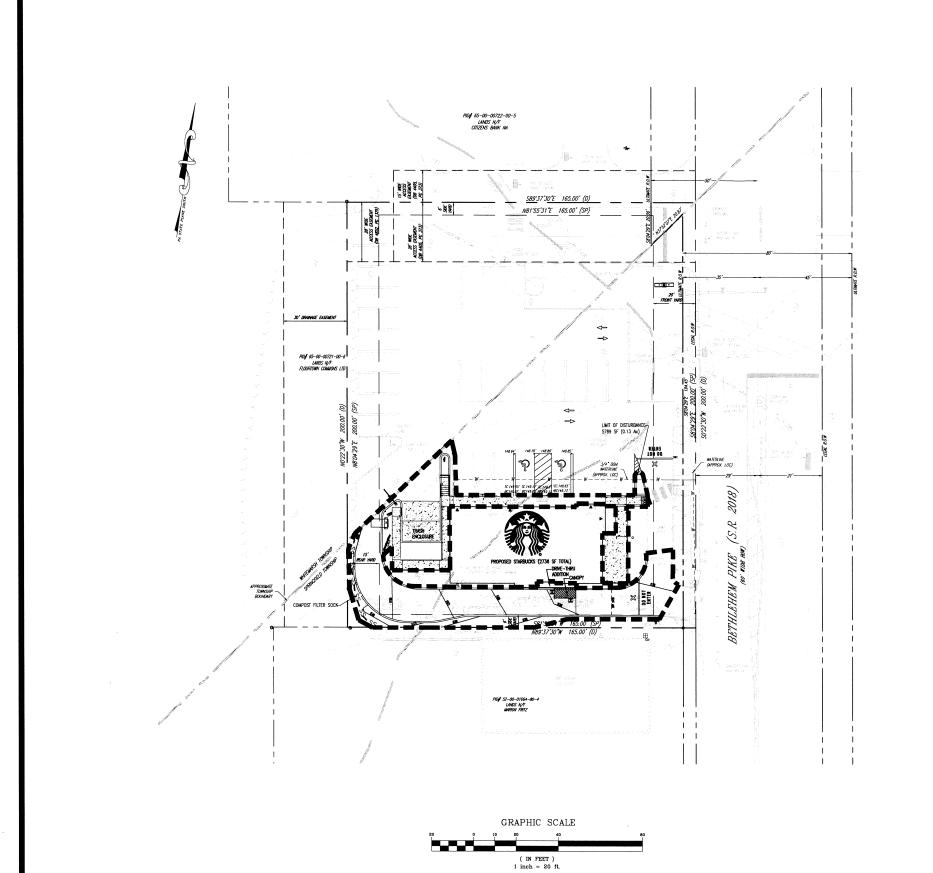


PROJECT LOCATION

1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

TITLE DETAILS

PROJ # 23-4381 DATE 07-17-202
CAD ID 23-4381 DRN BY KFD
SCALE AS NOTED CHK BY KHF SHEET 9 OF 11



Consulting Engineers & Architectural, Inc.
1176 N. Inving Street. Alternoon. PA 18109
Phone Collegation Face (10-820-3706)

FIRST CAPITAL REALTY, INC.

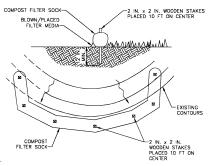
PROJECT LOCATION

1851 BETHLEHEM PIKE FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

E&S SITE PLAN

AD ID 23-0381 DATE 07-17-202
AD ID 23-0381 DRN BY K7D
CALL AS NOTED CHK BY KHE

SHEET 10 OF 11



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE BOTH ENDS OF THE BARRIER SHALL BE EXTRADED AT LEAST B FEST UP SLOPE AT 45 DECREES TO THE MAIN BARRIER A LIGNMENT, MAXMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFED FOR THE SIZE OF THE SOCK AND THE SLOPE OF 11S TRIBUTIARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOSI FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS, PHOTODEGRADABLE SOCKS AFTER 1 YEAR POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

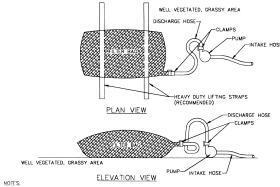
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE WULCH SPREAD AS A SOIL SUPPELEMENT.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

USE REBAR INSTEAD OF WOODEN STAKES IN PAVEMENT AREAS. HOLE TO BE PATCHED AND SEALED WHEN REMOVED

	Compos	t Sock Fabric	Minimum Spe	cifications	
Material Type	3 mil HDPE	5 mit HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material	Photo-	Photo-	Bio-	Photo-	Photo-
Characteristics	degradable	degradable	degradable	degradable	degradable
		12"	12"	12*	12*
Sock	12"	18"	18"	18"	18*
Diameters	18*	24"	24"	24*	24*
		32"	32"	32*	32*
Mesh Opening	3/8*	3/8*	3/6"	3/8*	1/8*
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet		Zti psi	20 per	44 pai	202 (5)
Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum			-		
Functional	6 months	9 months	6 months	1 year	2 years
Longevity		Two-oi	y systems		
		тиор	, -,	HDPE blaxial n	70
				Continuously wo	und
Inner C	ontainment Ne	tting		usion-welded jun	
				" X 3/4" Max. apert	
Outs	r Filtration Me	sh	(Wave	posite Polypropyle n layer and non-w nically fused via ne	oven fleece
				V16" Max. apertur	

Compost Standards			
Organic Matter Content	25% - 100% (dry weight basis)		
Organic Portion	Fibrous and elongated		
pH	5.5 - 8.5		
Moisture Content	30% - 60%		
Particle Size	30% - 50% pass through 3/8" sieve		
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum		



LOW YOU, ME FLITE BAGS SHALL BE MADE FROM NOW-MOVEN COSTITILE MATERIAL SEWN, WITH HIGH STEENSTH, DOUBLE STRICHED "IT THE SEAMS THEY SHALL BE CAPABLE OF "RAPPHUS PRATICIES LARGER THAN 150 MICRONS, HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/N
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURS*	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	AS W D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAC WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BACS SHALL BE REPLACED WHEN THEY BECOME "/Z FILL O" SEDVENT, SPARE BACS SHALL BE KEPL AVAILABLE FOR REPLACEMENT O" THOSE THAI THAY FALLED OR AS TELLED, BACS STALL BE "LACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LETING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION BE RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTLE UNDERLAYMENT AND FLOW PATH SHALL BE PROVUED. BAGS MAY BE PLACED ON FILER STONE TO INCREASE DISCHARGE CAPACHTY, BAGS SHALL NOT PLACED ON SLOPES GREATER THAN SX. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-EROBIEL AND NON-POLLINIC MATERNAL WAY BE PLACED UNDER THE BAGE TO REDUCE SLOPE STEEPHESE.

NO DOWNSLOPE SEDIMENT BARRER 'S REQUIRED FOR VOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSI

THE PUMPING RATE SHALL BE NO GREATER THAN 750 CPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY, IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE "MMEDIATELY AND NOT RESUME UNTIL THE "PROBLEM" IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG

STANDARD EROSION AND SEDIMENT CONTROL NOTES:

1. ALL BATH DISTURBANCES, INCLUDING CLEARIG AND GRUBBING AS WILL AS CUTS AND FILLS SHALL BE DONE IN
ACCORMINE WITH HE APPROVED EAS PLAN. A COPY OF THE APPROVED DRIVENS (STANDED, DISHOE) AND DATED BY THE
REVIEWING ACENCY JUSTS BE AWAIABLE AT THE PROJECT SHE AT ALL THUES, THE REVIEWING ACKING YALL BE MOTIFED OF
ANY CHANGES TO THE APPROVED PLAN PROPE TO BUENEVARIADE OF THOSE CHANGES, THE REVIEWING ACKING YAW REQUIRE
A WRITTEN SUBMITAL OF THOSE CHANGES TO'R REVIEW AND APPROVA. AT ITS SOCIETION.

AT LEAST 7 DATE SHORD THOSE CHANGES TO'R REVIEW AND APPROVA. AT THE SOCIETION.

PRECONSTRUCTION METING.
AT LEAST 3 DAYS FING TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY
UNMARKED, THE PENNISYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1775 FOR THE LOCATION OF

PRECONSTRUCTION METRING.

AT ILEST 3 DAYS PROPE TO STATING ANY EARTH OSTURBANCE ACTIMITES, OR DEPANDING INTO AN AREA PREVIOUSLY
UNMARKED, THE PRINSTYMANA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-724-1776 FOR THE LOCATION OF
UNMARKED, THE PRINSTYMANA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-724-1776 FOR THE LOCATION OF
UNITARIES WITH A STRUCTURE SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE DO IN THE PLAN DIMMINISS.

ALL BRIT DISTURBANCE AUTHORS SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE POST SHALL PROCEED IN AREA FOR THE LOCAL CONSERVATION DISTRICT OR 8'THE
PREVAILED REPORT OF STRUCTURE OF THE PROPERTY OF THE LOCAL CONSERVATION DISTRICT OR 8'THE
AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STREPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND
OTHER OBJECTIONABLE MATERIAL

CLEARING, CRUBBING, AND TOPSOIL STREPPING SHALL BE LIMITED TO THOSE AREAS DISSERBED IN EACH SINGE OF THE
CONSTRUCTION SEQUENCE. CEREMA STEE CLEARING, ROBBING AND TOPSOIL STREPPING WAY THAT STATE OR PHASE OF THE PREDICT UNIT. THE EASE BURS SECURIED BY THE BURY SEQUENCE FOR THAT STAGE OR PHASE INVESTIGATION.

AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENERS AREAS DISTRICT HAT STAGE OF THE PROCECULATION OF SHALL BE ADMINISTRATION OF SHALL PROCEED AND ASSOCIATED AND ASSOCIATED AND ASSOCIATED AND ASSOCIATED ASSOCIATED AND ASSOCIATED ASSOCIATE

WITH THE DEPARTMENT'S SOULD WASTE MANAGEMENT REDULATIONS AT 25 PA. CODE 260.1 ET SEO., 271.1, AND 287.1 ET. SEO. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARROTA AT THE STOP.

DISCHARGED AT THE SITE.

ALL OFF-STE WASTE AND BORROW AREAS WIIST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR
THE DEFAULTED FULLY MPLICANTED PRIOR TO BEING ACTIVATED.

THE COMPRICING RESPONDINGE FOR ENGINENC THAT ANY AMERICAL BROUGHT ON SITE SCIENA FILL, FORM FP-DOT MUST
BE RETAINED BY THE PROPEDTY OWNER FOR MAY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REQUIATED
SUSSIMICE SHIP QUALIFYING AS LIGHT, BLIDE TO AMALYTICAL TISTING.
ALL PUMPING OF MATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN,

ALL PUMPING OF MATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN,

ALL YUMPING OF WINTER FROM ANY WORK AREA SYMLL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OMFO WINDSTRUMEN DESTITATION AREA.

LIMIT THE SITE IS STRBILEZED, ALL EROSON AND SEDUMENT BUPS SHALL BE MAINTAINED PROPERTY. MAINTAINING: SHALL BOULDE INSPECTIONS OF ALL EROSON AND SEDUMENT BURS ATTER FLOAR PRINCIP FURTH AND ON A MEETLY BURS. ALL PREPARATIVE AND RELEVOR MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGROUNG, RESECOND, REPLACEMENT, BURSTLAND AS DEVECTED, REPLACEMENT BURST, OR MODIFICATIONS OF THOSE MISTALLED WILL BE REQUIRED. AND THE STATE THE PREPARATION AND THE STATE OF THE PROPERTY BURSTLAND FOR THE STATE OF TH

15. A LOS SHOWNE DUTS THAT EAS BUPS WERE INSPECIED AS WILL AS ANY DEFICIENCES FOUND AND THE DATE THAT WERE CORRECTED SAY BULL BE MANTANED IN THE STITLE OF BETWEEN THE PROBLEMS OF THE TIME OF DESCRIPTION SAY BY THE TIME OF DESCRIPTION SAY BY THE TIME OF DESCRIPTION SAY BY THE TIME OF TIME OF THE TIME OF TIME OF THE TIME OF TIME OF THE TIME OF TIME O

UMBER MAJOR D'ERMUE SMEL CURINCI HE LOUG LOUS-ROMAIN DISHICH HE MA INSPECTION PROVIDE HE REMOVA, COMPESSION OF THE LESS DEEM AN-HEIGH, T. TAPORRAYE ERBOSON HAN SCRUENT BURS HE REMOVED OR CONVERTED TO FRAMMENT POST CONSTRUCTION STORMMATER MANAGEMENT BURS. AREAS DISTURBED GURNE, REMOVAL OR CONVERSION OF THE BURS SMELL BE SABLEZED MINEDELTE, IN GRORE TO ESUICE RAPOR RECECTION OF DISTURBED AREAS, SICH REMOVAL/CONVERSIONS OF DE FONDE ONLY DURING THE CERMINATIOS SEASON. IL PODY CONVERTION OF ALL EARTH DESTRUCTION SAN TO BE DONE ONLY DURING THE CERMINATIOS SEASON.

OWNER AND/OR OPERATOR SHALL CONTRICT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

32. FALURE TO CORRECTLY INSTALL EAS BUPS, FALURE TO PREVENT SEDMENT-LOCEN RUNOFF FROM LEAVING THE CONSTRUCTION STE, OR FAILURE TO TAKE INVESTALE CORRECTION, FAILURE TO THE WAY CONSTRUCTION STED, OF A FAILURE TO TAKE INVESTALE CORRECTION. ACTION TO RESOLVE FAILURE OF EAS BUPS MAY RESULT IN

EROSION & SEDIMENTATION POLLUTION CONTROL MEASURES

1. THE BUILDER AND/OR DEVELOPER WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE

OF ERSOON & SEDMENTATION POLLUTION CONTROL (EASPC) MISSURES NO BELLED THES INCLUDED WHITEN THIS PLAN.

2. THE BUILDER MANU/OR DEVELORE'S ADMISTED TO SECOND THROUGHOUT HAUMAN WITH THE PROVISIONS OF APPENDED 4,
ERSOSIN CONTROL BULES AND REGULATION, THE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C,
PROTECTION OF MANDRA RESOURCES, WRITCH 18 WAS RESOURCES, DOWNERT 102, ERSOON CONTROL.

3. THE BUILDER AND/OR DEVELOPE'S MUST PROVIDE, AND HAVE APPROVED BY THE NORTHWAPTON COUNTY, AN ADDIVINE ERSOSIN

4. SERMINATION POLLUTION CONTROL (EASPC) PLAN. A SEPRANTE EASPC PAIN MUST BE PETEMBE TOR DICK SPOLL.

BORROW OR OTHER WORK ARCA NOT DEMALD IN THE APPROVED PLANS. SEPTOR INITIATION ANY REVISION TO THE APPROVED

EASPC PLANS, THE BUILDER AND/ON DEVELOPER MISS RECORD ATTRIBUTION OF THE REVISIONS FROM THE NORTHWATTON

4. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDMENT FROM STEE ROUNT, ADDITIONAL MUSSINES MUST BE MEMORITED BY THE OWNER/POPULIDER/CONTRICTION.

5. UNIT THE STEE STABLEDT, ALL EAST MEASURES MUST BE MANATIONED IN PROST'R MOVING CONDITION. ALL EAST MEMORITED BY MAINTENANCE WORK, INCLUDING SEDMENT BISIN AND THAP CLAN-OUT, FACULTY REPAIR OR REPLACTIVITY, RECENOING, RESERVING, REMULCHING, AND GOOTOTHE STABLEDT, WAS INTERNATED MEMORITED AND EXCHANGE BY ADDITIONAL SERVING BY ADMINISTRATION OF A CONDITIONS DIGITAL.

5. HIE DEVLOPES SHALL TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO PREVAIL SEDMENT, FROM ENTERING A RADAWAY OR ADMINISTRATION OF THE SHARE OF THE ADMINISTRATION OF THE SHARE OF JUDITY. HOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM SITE.

LASSEY PACILIES WITS.

IN THIS STANDARD CONTROLLED AND A CONTROLLED AND FUNCTIONAL PROOF TO SITE DISTURBANCE WITHIN AREAS TRIBUTARY

TO THIS STANDARD CONSTRUCTION SHALL BE IMPETED TO DUXT THAN AMEDIOTA RACE AROUND FOR THE CONSTRUCTION
PROCEDURE, DELINEATED DISTURBANCE LIMITS MINED THE DISTORTED AT ALL TIMES.

IN WOODS DARKS, ONLY THISSET THIS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED.

IN SILT FRACE OR COMPOST FILTER SOCK SHALL BE MANIFANDED AND REPLACED AS NICESSARY UNTIL A PERMANENT AND

INFORM VERENANT COVER TO ESTRUCTION.

II. A CRUSSED STOME RITE SCRUBBER (SMBULZED CONSTRUCTION ENTRANCE) SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE

II. HE DRIVEN MY SES SHALL BE PLACED IMADIACLY FOLLOWING THE COMPLETION OF GRANING TO PREVENT EROSSION OF THE

SUBBOSC, ROOSIOS SHALLS AND CHARMACHES MUST BE MEMORIALLY SHALLEZED WITH THE APPROPRIATE SEED MICHIEL.

S. SLI TENCE SPALL BE INSTALLED AROUND THE STOCKPILE AS SHOWN, STOCKPILE THE STANLED, NOT THE

ALL DOMAND TOSTRUCTOR OF THE MEMORIAL SHOWS THE PROCEDURES DETAILED IN THE

ALL DOMAND TOSTRUCTOR OF THE MEMORIAL SHOWS THE PROCEDURES DETAILED AND MULLICAN KNOTS.

NULLIFING MOILS.

15 STOCKPELS OF MULCH (STRWW OR HAY, WOOD CHIPS, ETC.), CRUSHED STONE, AND JUTE NETTING SHALL BE AMAILABLE TO ADDRESS EROSNE CONDITIONS AS WARRANTED.

16 MANDRIETY AFTER THE, COMMETTING OF GRADNIC ACTIVITIES, DISTURBED AREAS SHALL BE STABILIZED WITH THE APPROPRIATE

INFORMATION FOR THE OPERATION OF SHOULD AUTHORISE, DISTRIBUTION OFFICE STATES OF ALL BUILDING MATERIALS AND MASTES IN
THE OPERATIOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND MASTES IN
ACCORDANCE WITH THE OPERATION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 980.1 TI SEQ. 27.1.1 ET SEQ
AND 287.1 ET SEQ. THE COMPRICIOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTE
AT THE SITE.

AT THE SITE.

B. ALL PUMPING OF SCIMICALE LADED WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER
BMG DESCHARGING OVER NON-DISTURBED AREAS.

19. A COPY OF THE APPROVED EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT
SITE AT ALL TIMES.

ENVIRONMENTAL DUE DILIGENCE NOTE:

PERSONS APPLYING FOR AN IMPGES PIRBUIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES ARE REQUIRED TO EMPROY EMPROMENTAL DUE DILEGENCE, TO DETERMINE IP PAST AND PRESENT LAND USE MAY HAVE RESULTED IN THE POSSIBILITY OF CONTINUAMINON ON STEE TEXAMPLES OF EMPROMENTAL DIE DILEGENCE, INCLUDE BUT ARE NOT LUMITIES.

- DETERMINING PREMOUS USES OF THE LAND, OR OF AM INCIDIORISM CAMPAINED AND A POST ACTIVITIES.

- CHECKINAD FIRST THE STEE HAS THE POSITIANE, TO BE CONTINUANTED BUSED ON PAST ACTIVITIES.

- CHECKINAD WITH LOCAL CONFINMENT ENTITIES FOR ANY INFORMATION THAT MAY BE ANALABLE ABOUT THE AREA.

CONTACTING AGENCIES THAT MAY HAVE DEALINGS WITH CONTAMINATED SITES AND GATHERING ANY AVAILABLE INFORMATION FOR THE SITE IN QUESTION.

PERFORMING A SITE INSPECTION/INVESTIGATION BY AN EXPERIENCED PRACTITIONER SINCE THE LEVEL OF RISK CAN ONLY BE
ASSESSED ON A SITE—BY—SITE BASIS, NOTE, THIS MAY BE THE SAME AS PERFORMING A SITE CHARACTERIZATION.

SITE INSPECTION LOG REQUIREMENTS:

UNTIL THIS SITE IS STABILIZED, ALL EROSON AND SEDIMENTATION POLLUTION CONTROL (EASPC) FACILITIES MUST BE MANTANED PROPERLY MANTANED SHALL INCLUDE RESPECTIONS OF ALL EASPC FACILITIES ATTHE FLOH RUNOTE EVENT AND ON A MEXITY MOSS. STEE RESPECTION SHALL BE DOWNERED BY MA INSECTION 100 SHET FOR THIS PURPOSE. AND THE NAME OF THE PERSON CONDUCTION THE INSECTION THE RESPECTION LOS SHALL BE KEPT DOWNER AND THE NAME OF THE PERSON CONDUCTION THE INSECTION. THE INSECTION LOS SHALL BE KEPT DOWNER AND THE ANALABLE TO THE DOSTER UPON THE STABLE. THE TIME SHE STABLEADED HAVE SEED ANDERED. MUST BE FRAINFEED MEMBERS THE STABLEADED HAVE SEED ANDERED.

all preventative and remedial maintenance work, including easpc facility repair or replacement, and any stabilization satisfactorily, replacement facilities or modifications of those installed will be required.

WHERE EASPC FACILITIES FAIL TO ALLEVATE EROSION OR SEDIMENT POLLUTION THE INSPECTION LOG SHALL INCLUDE THE

THE COLOMING INFORMATION:

1. THE LOCATION AS SEVERTY OF EASPC FACILITY FAILURE, AND ANY POLLUTION EVENTS RESULTING FROM THE FAILURE.

2. REMEMBAL STEED TAKEN TO REDUCE, ELMINATE, AND PREVENT THE RECURRENCE OF THE FACILITY FAILURE AND/OR POLLUTION EVENT.

A TIMEFRAME TO CORRECT THE FACILITY FAILURE AND/OR POLLUTION EVENT, INCLUDING THE APPROXIMATE FUTURE DATE WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

UNFORESEEN EROSIVE CONDITIONS

1. SHOULD ANY UNFORESEEN EROSMY CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE THE ACTION TO BEHEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACAST PROPERTIES AS A RESULT OF INCREASED RUNDET AND/OR SEDIMENT DISPLACEMENT, STOCKPILES OF WOOD SHIPS, NAY DILES, CRUSHED STOKE, AND OTHER PICCEPPRIES WILDIGES SHALL BY HELD IN READNESS TO IMMEDIATELY ADDRESS EMPRISED.

SUME, AND LUTEX ACLIFIZABLE MULCHES SMALL BE HELD IN BEADNESS TO IMMEDIATELY ADDRESS ENERGENCY BOSION AND SECURITATION PROBLEMS.

2. THE CONTRACTOR IS ADMISS TO SECONE THROUGHEY FAMILIAR WITH ALL OF THE PROVISIONS OF APPENDIX AS, 4 EROSION CONTROL RULLS AND RECLIAIONS, THE 2-3, PART 1, DEPARTMENT OF ENVIRONMENT PROTECTION, SUB-PART C, PROTECTION OF MATURAL RESOURCES, ARTICLE II, WATER RESOURCES, CHAPTER 102, ROSDOM CONTROL

ERISSION CONTROL:

3. CONSTRUCTION DEPAILORS SHALL BE CARRED DUT IN SUCH A MANARE THAT ALL ERISSION & AR AND WATER POLLUTION IS MINIMEZED. STATE & LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE OBSERVED.

1. MEASURES FOR THE PROTECTION OF EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO LUMINATE LIMITECESSARY DAMAGE.

4. COPY OF THESE ERISSION & SEDIMENT POLLUTION CONTROL PLANS MUST BE POSTED AND ANALABLE AT THE CONSTRUCTION STEIN ACCORDANCE WITH STATE AND TEDERAL LAW.

SEEDING AND MULCHING NOTES

1. AN AREA SHALL BE CONSDERED TO HAVE ACHEVED FINAL STABILIZATION WHEN IT HAS A MANUAU UNFORM 70'C PERENNAL VEGETAME CORF OR OTHER PERMANENT MON-VEGETAME CORF WITH A DESINTY SUFFICIENT TO RESIST ACCELERATED SAFFORCE RESISTON AND SUBBURINEC CHARACTERISTICS SUFFICIENT TO RESIST SUBMO-RAD OTHER MOYBERT, AND DETURBED AREA ON WHICH CONSTRUCTION ACTIVITY HAS CEASED MUST BE MANUFAULTED. STORED AREA ON WHICH CONSTRUCTION ACTIVITY HAS CEASED MUST BE MANUFALD STORED AND AREA WHICH ARE NOT AT FINASED GROBE AND WHICH WILL BE RESIDUARED WITHIN ONE (1) YEAR SHALL BE MURED MUST MUST BE AVENUED. SUBJECTED AREA WHICH ARE NOT AT FINASED GROBE ONE WHICH WILL BE RESIDUARED WITHIN ONE (1) YEAR SHALL BE THE AT I MISHED CORO OR WILL NOT BE RESIDUARED. WITHIN ONE WATER DISTRIBUTED AREA WHICH ARE SHALL BE SHALL BE SHALL BE A THINSHED GROOG OR WILL NOT BE RESIDED WITHIN ONE YEAR MUST BE MURDANIZY WALCHED AND SUSTEIN AND SHALL BE AVENUED.

mini the permanent seed wildlich. NS, Channels, Swales, Sediment basins, Sediment traps shall be stabilized immediately with erosion . Blanket and seeded. Soil stockpiles and all other disturbed areas shall be seeded and mulched

IMMEDIATELY.

JUNYSTRAW MULEPI MIST BE APPERD AT A MATE OF AT LESSES 3 TONS PER APPER.

JUNYSTRAW MULEPI MIST BE APPERD AT A MATE OF AT LESSES 3 TONS PER APPER.

4. EXPANSION WINDOW SETTING WILL ACCOMPLISHED THROUGH HYROGEROUS (IN COMPATIONAL SEEDING METHODS.

(MOTE: HYROGEROED IS NOT CONSIDERED SHABLIZATION MILL IT GERMINISTS).

5. GEOTOTILE EROSION CONTROL CHAMBEL INING AND SLOPE PROTECTION SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS MEMBERALISHED THE COMPATION OF REARING METHODS.

TEMPORARY STABILIZATION & PERMANENT STABILIZATION

. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND

STEATER OF THE CONTROLL STATEMENT OF THE CONTROL OF THE CONTROLL STATEMENT OF THE CONTROL ON THE CONTROL OF THE

TEMPORARY SEEDING SPECIFICATIONS

ALL DISTURBED EARTH SURFACES OR TOPSDIL SHALL BE STABLIZED AND SEEDED WITH A CONTRACTOR'S MIX IN ACCORDANCE WITH PAGEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL MARCH 2012, CURRENT EDMION, AS FOLLOWS:

OTHER MIXTURES PER TABLE 11.4 MAY BE USED WITH CONSERVATION DISTRICT APPROVAL

LIME AND FERRILIZER AND MULCH SPECFICATIONS
TEMPORARY SECONG —
- LIME 410 IE PREVA ACT
- FERRILIZER 10-10-10 US PER ACRE
- MULCH, HAY OR STRAW — 3 TOWS PER ACRE (AFTER TEMPORARY SEEDING MAS BEEN PERFORMED)

PERMANENT SEEDING SPECIFICATIONS

NUMEDIATELY UPON FINAL GRADING OF ANY PHASE OR SECTION, TOPSOIL SHALL BE BROUGHT BACK OVER THE DISTURBED AREAS WHICH ARE NOT TO BE PAVED OR BUILT UPON. THIS TOPSOIL SHALL BE SPREAD TO A SMOOTH FINISH GRADE WITH A MINIMUM DEPTH OF FOUR (4) INCHES. THE TOPSOIL SHALL THEN BE:

A. RAVED FREE OF STONES;
B. LINED AND FERTILIZED AS INCESSARY;
C. PLANIED WITH GRASS OR OTHER SPECIFIED SEED, AND
D. MULCHED TO PROTECT THE SEED FROM DRIVESS AND EROSION. (STRAW OR HAY AT 1240 LB. PER 1000 SQ. YOS.)

PERMANENT SEEDING SHALL BE UNDERTAKEN IN ACCORDANCE WITH PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL MARCH 2012, CURRENT EDITION, AS FOLLOWS:

MIXTURE 2- PRIMARILY KENTLICKY RILIECRASS SPREAD AT A SEEDING RATE OF 25 LB PER 1000 SO, YOS MIXTURE 6— CROWNVETCH AND ANNUAL RYEGRASS (45% — 55%) SPREAD AT A RATE OF 20 LB. PER 1000 SQ. YDS. ON ALL SLOPES 2 HORIZONTAL TO 1 VERTICAL OR STEEPER.

OTHER MIXTURES PER TABLE 11.4 MAY BE USED WITH CONSERVATION DISTRICT APPROVAL

NOTE: SLURRY APPLICATIONS MUST INCLUDE A STRAW MULCH BINDER AT A RATE OF 3.0 TONS PER ACRE

LIME AND FERTILIZER SPECIFICATIONS
PERMANENT SEEDING -

MULCHED TO PROTECT THE SEED FROM DRYNESS AND FROSION (STRAW OR HAY AT 1240 IB. PFR 1000 SD. YDS.)

EROSION CONTROL REVISION NOTE

BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E & S CONTROL PLAN, THE OPPEADRS MASS RECENT APPROVED OTHER SENSONS FROM THE MORTHWAPPION COUNTY. THE OPPEADRS SALL, ASSURE THAT THE APPROVED DISCORDS MAY SEDMENT COUNTROL, PLAN IS PROPRIET AND CONTROL PLAN ASSURED. MAJORITY DOWN SOCK/PRISE (MORTESEE) RECONSISTENCES PERSON THE POTENTIAL FOR ACCURATION THE AMAJORS SEQUENT TOTAL THE OPPORTUGE SALL APPLICATION FOR POTENTIAL FOR ACCURATION.

SPOIL AND BORROW AREAS NOTE

THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE NORTHAMPTON COUNTY, AND IS BEING WIFLEWINTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREA, RECARDLESS OF THEIR LOCATIONS.

CONSTRUCTION WASTE & RECYCLING DISPOSAL NOTES:

 CONSTRUCTION WASTES ARE ANTICIPATED TO BE TREE AND ROOT DEBRIS, AS WELL AS RESIDENTIAL CONSTRUCTION MATERIAL WASTES
SUCH AS CONCRETE. WOOD. ETC. ALL MATERIALS REMOVED FROM BMP'S SHALL BE BROUGHT TO A MUNICIPAL RECYCLING CENTER OR DISPOSED OF AT AN APPROVED LANDFILL THROUGH A CERTIFIED WASTE COMPANY.

DETAILS

.ıAL INC. FIRST CAF REALTY, I

آة آة tectural, U

4

0

4

6 N. Irving Street Phone: 610-820-820 www.corner in in





PROJECT LOCATION

FLOURTOWN SPRINGFIELD TOWNSHIP WHITEMARSH TOWNSHIP MONTGOMERY COUNTY PENNSYLVANIA

TITLE F&S

SHEET 11 OF 11



COMMISSIONERS

James M. Lee President

Baird M. Standish Vice President

Peter D. Wilson Michael E. Maxwell Jonathan C. Cobb Susanna O. Ratsavong Brendan May

OFFICERS

A. Michael Taylor Secretary-Manager

James J. Garrity

Joelle Kleinman Treasurer / Tax Collector Timothy P. Woodrow, PE

The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038 website: www.SpringfieldMontco.org Phone: 215-836-7600

Fax: 215-836-7180

Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, November 27, 2023, at 7:00 p.m. at which time a public meeting will commence on the following application:

Case #23-25: This is the application of Andre Stephano & Beth Lesko, owners of the property located at 401 East Mill Road, Flourtown, PA 19031, known as Parcel #5200-1166-2004. The applicants have requested a variance from Section 114-53 of the Springfield Township Zoning Ordinance. The applicants plan to subdivide the property with the proposed lot having frontage on Cedar Lane. The variance has been requested to allow the proposed lot to have 25 feet of lot frontage on Cedar Lane, instead of the required 75 feet. The property is zoned within the A-Residential District of Ward #6 of Springfield Township.

A copy of the application and information submitted for this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township Zoning Hearing Board Mark A. Penecale Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD MONTGOMERY COUNTY 1510 PAPER MILL ROAD WYNDMOOR, PA 19038

Saringfield Townehip Monigomary County Received

OCT 30 REC'D

Community Development Department

NO. 23-25

DATE: 10/26/2023

PETITION

SPRINGFIELD TOWNSHIP ZONING HEARING BOARD

$_{ m We}^{}$ Andre Stephano and Beth Lesko		
(Name of Applicant)		
Of (Address)401 East Mill Road, Flourtown, PA 19031		
(Telephone No.) 267-872-0313		
do hereby make application before the Springfield Township Zoning Hearing Board to request:		
An appeal from the decision of the Zoning/Building Official.		
A special exception as provided for in Article, Section, Subsection, of the Springfield Township Zoning Code.		
X A variance from the requirements set forth in Article V, Section 114, Subsection 53, of the Springfield Township Zoning Code.		
X Other (please specify)		
The property concerned is located at 401 East Mill Road		
Petitioner's Interest in the property is Owner		
Present use of propertyResidential		

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.			
See Attached			
APPLICANT NOTE: Petition must be accompanied plans, Application Fee and a copy of the property deed			
CASE # 23-25 # 500:00 Check# 116568	Applicant's Signature		
# 500°CO	(HEI)		
Check# 116568	Owner's Signature Christen G. Pionzio, Esq		
,	Christen G. Pionzio, Esq		
Do not write in this space.			
Petition granted.			
Petition refused.			
The following special conditions are imposed.			
By Order of the Zoning Hearing Board			

TOWNSHIP OF SPRINGFIELD COMMUNITY DEVELOPMENT ZONING INFORMATION AND FEE SCHEDULE

NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP

Application Procedures

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (8) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. No applications will be accepted without the deed.

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code**, **Act 247**, **Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

- 1. A filing fee of \$500.00 shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
- 2. A filing fee of \$1,200.00 shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
- 3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

Christen G. Pionzio, Esquire
Printed Name of Applicant's Attorney

Attorney for Applicant's Signature and Date

10/26/2023

Springfield Township
Re: Andrew Stephano and Beth Lesko
401 East Mill Road
Attachment to Zoning Hearing Board Application

The A Residential District provides for minimum lot size of 12,500 sq. ft. The subject property is 109,771.2 sq. ft. (2.52 acres). The property is improved with a single-family detached dwelling. It is long and narrow and has 25 ft. of frontage on Cedar Lane to the rear opposite East Mill Road. The applicant proposes to subdivide one lot for a single-family detached dwelling with access to Cedar Lane.

The proposed Lot 1, on which the existing house is located, is 1.51 acres. The proposed Lot 2 is 1.01 acres.

The lot width requirement in the A Residential District is 75 ft. However, the definition of lot width requires the width of the lot to be measured not only at the front yard setback line, but also along the street line and it has to be maintained for the distance in between. This requirement only permits subdivisions of properties that are symmetrical in shape. In this case, it prohibits the development of more than one house on a lot measuring 2.52 acres – almost 9 times the minimum lot requirement. Therefore the code as applied to the subject property creates a hardship for it and prevents reasonable use of it.

The cul-de-sac bulb for Cedar Lane abuts the property thus providing it with 25 ft. of frontage which will provide adequate access for the proposed Lot 2. The variance requested is a minor deviation of the code and the minimum relief necessary to afford reasonable use of the property. The property is surrounded by single family detached dwellings such that what is proposed is in keeping with the character of the neighborhood. There is nothing about the application that is adverse to the public health, safety and welfare.

Prepared by:

Trident Land Transfer Company LP 431 West Lancaster Avenue Devon, PA 19333 Phone: (610)889-7660

Return To:

ATTN: Post-Closing Department Trident Land Transfer Company LP Parcel No.: 52-00-11662-00-4

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
52-00-11662-00-4 SPRINGFIELD TOWNSHIP
401 E MILL RD
FLANAGAN ROWENA \$15.00

File No.: 19PA05647

DFFD

B 048 L U 055 1101 09/03/2019

Rowena Flanagan

to

Andre C. Stephano and Beth A. Lesko

PREMISES:

401 East Mill Road
Township of Springfield
County of Montgomery
Pennsylvania

Parcel No.: 52-00-11662-00-4

The address of the above named Grantee(s) is:

401 East Mill Road Flourtown, PA 19031

Certified by

DEED

THIS INDENTURE made this 12th day of August, 2019.

Between ROWENA FL

ROWENA FLANAGAN, (hereinafter called the Grantors) and

ANDRE C. STEPHANO AND BETH A. LESKO, (hereinafter called the Grantees)

MONTCO

Witnesseth That the said Grantors for and in consideration of the sum of

lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, their heirs and assigns, as tenants by the entirety.

LEGAL DESCRIPTION ATTACHED HERETO AS EXHIBIT "A"

TOGETHER with all and singular the improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantors, as well at law as in equity, of, in, and to the same.

TO HAVE AND TO HOLD the said lot or piece of ground above described with the improvements, hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

AND the said Grantors do by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns that the said Grantors all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantees, their heirs and assigns, against the said Grantors and against all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under them or any of them, shall and will WARRANT and forever DEFEND.

EXHIBIT A

ALL THAT CERTAIN tract or parcel of ground with the buildings and improvements thereon erected, situate in Springfield Township, Montgomery County, Pennsylvania, being shown as parcel 52-00-11662-00-4 on a Deed of Correction Exhibit, Sheet 1 of 1, prepared for Rowena Flanagan, prepared by Hibbeln Engineering Company, LLC, dated March 1, 2017, and being more fully described as follows:

BEGINNING at a point in the Southeasterly side of East Mill Road (33 feet wide) at the distance of 1,114.20 feet Southwestwardly from the intersection of the Southeasterly side of said East Mill Road with the Southwesterly side of Church Road (40 feet wide); thence extending along the Southeasterly side of East Mill Road, South 40 degrees 22 feet 00 seconds West, 196.00 feet to an angle point; thence leaving the said Southeasterly side of (and crossing) East Mill Road and extending along a line dividing the lands of N/F Joseph and Rowena Flanagan and N/F S. Miller & Rena Harris and N/F Herbert Menhardt, North 52 degrees 58 minutes 00 seconds West, 605.67 feet to an angle point; thence extending along a line dividing the lands of N/F Joseph and Rowena Flanagan and N/F Onofre P. and Carson C. Vaguer, North 40 degrees 22 feet 00 seconds East, 193.88 feet to a concrete monument, said monument marking the terminus of existing Cedar Lane; thence extending along a line dividing the lands of N/F Joseph and Rowena Flanagan and N/F Richard W. and Helen M. Yost, also crossing through an existing concrete monument marking the Northwesterly Legal Right-of-Way of aforesaid East Mill Road (33 feet wide) to the Southeasterly side of East Mill Road, South 53 degrees 10 feet 00 seconds East, 605.79 feet to the point and place of beginning.

BEING PARCEL NO. 52-00-11662-00-4

Being the same property which Lewis W. Gerhart and Sara Gerhart, granted and conveyed unto Joseph P. Flanagan Jr. and Mary Elizabeth Flanagan, his wife by deed dated August 13, 1954 and recorded August 27, 1954 in the Recorder's Office of said County in Deed Book 2498 Page 441. (As to Parcel A)

Being being part of the same property which Lewis W. Gerhart and Sara Gerhart, granted and conveyed unto Joseph P. Flanagan Jr. and Mary Elizabeth Flanagan, his wife by deed dated January 20, 1958 and recorded January 22, 1958 in the Recorder's Office of said County in Deed Book 2852 Page 83. (As to Parcel B)

Being being the same property which Joseph P. Flanagan, Jr and Mary Elizabeth Flanagan, granted and conveyed unto Joseph Patrick Flanagan and Rowena Flanagan, tenants by the entirety by deed dated November 26, 2013 and recorded November 26, 2013 in the Recorder's Office of said County in Deed Book 5897 Page 643. (As to Parcel A; Parcel B being erroneously omitted)

The said Joseph Patrick Flanagan having departed this life February 4, 2017.

Being the same property by Deed of Correction from which Joseph P. Flanagan, Jr., marital status not stated, granted and conveyed unto Rowena Flanagan by deed dated March 16, 2017 and recorded March 29, 2017 in the Recorder's Office of said County in Deed Book 6038 Page 1277. (As to Parcel A and B) (Premises B hereon describing whole tract)

AND whereas the legal description of premises B in Deed Book 6038 page 1277 describes premises A and B as a whole.

Parcel No.: 52-00-11662-00-4

IN THE WITNESS WHEREOF, the said Grantors has/have caused these presents to be duly executed dated the day and year first above written.

SEALED AND DELIVERED In the presence of us:

Commonwealth of Pennsylvania

On this, the day of Hygust 2019, before me, the undersigned Notary Public, personally appeared Rowena Flanagan known to me (or satisfactorily proven) to be the person whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

My Commission Expires:

Commonwealth of Pennsylvania - Notary Seal Jennifer M. Fornara, Notary Public Montgomery County My commission expires March 18, 2023 Commission number 1052227

Member, Pennsylvania Association of Notaries

Chapter 114. Zoning

Article V. A Residence District

§ 114-53. Lot width.

[Added 3-11-1970 by Ord. No. 592]
Each lot shall have a minimum lot width of not less than 75 feet extending in depth from the street line to the building line. When a lot borders on more than one public highway or street, the owner may elect one of the streets to establish the minimum lot width for purposes of this section.

