



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

COMMISSIONERS

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Engineer

Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, June 29, 2026, at 7:00 p.m. at which time a public meeting will commence on the following application:

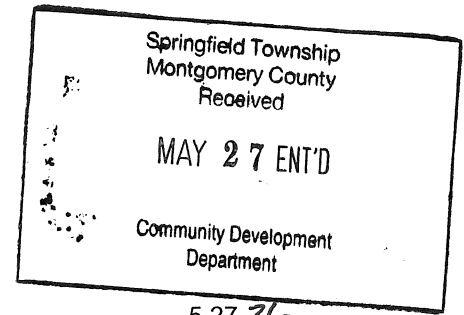
Case #26-13: This is the application of **Julian Toll**, owner of the property located at 1104 Cromwell Road, Wyndmoor, Pa, 19038 and known as Parcel #5200-0470-5004. The applicant seeks a variance from Section 114-135. b. of the Springfield Township Zoning Ordinance. The applicant has requested approval to install eight-foot-high fencing along the side and rear property lines to enclose the rear yard. The proposed fencing will not extend into the front yard setback area. The property is zoned within the A-Residential District of Ward 2 of Springfield Township.

A copy of the application and information submitted with this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website [@springfieldmontco.org](http://springfieldmontco.org).

By Order of the Springfield Township
Zoning Hearing Board
Mark A. Penecale
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD
MONTGOMERY COUNTY
1510 PAPER MILL ROAD
WYNDMOOR, PA 19038



NO. 26 13

DATE: 5.27.26

PETITION

SPRINGFIELD TOWNSHIP ZONING HEARING BOARD

We JULIAN TOLL
(Name of Applicant)

Of (Address) 1104 CROMWELL ROAD, WYNDMOOR PA 19038

(Telephone No.) 215 514 3714

do hereby make application before the Springfield Township Zoning Hearing Board to request:

 An **appeal** from the decision of the Zoning/Building Official.

 A **special exception** as provided for in Article , Section ,
Subsection , of the Springfield Township Zoning Code.

 X A **variance** from the requirements set forth in Article 114, Section 135,
Subsection b, of the Springfield Township Zoning Code.

 Other (please specify)

The property concerned is located at 1104 CROMWELL ROAD, WYNDMOOR PA 19038

Petitioner's Interest in the property is PROPERTY OWNER

Present use of property SINGLE FAMILY DWELLING

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

I SEEK A VARIANCE TO ALLOW FOR AN 8 FOOT HIGH FENCE TO BE INSTALLED
WITHIN MY REAR AND SIDE YARDS. THE PURPOSE OF THE FENCING IS TO
PROHIBIT OR REDUCE THE LOCAL DEER'S ACCESS TO THIS PORTION OF THE
PROPERTY. IN ADDITION TO MY DOG CONTRACTING ANAPLASMA "LYME"
I ALSO HAVE THE DAILY CHORE OF CLEANING UP THE DEER'S WASTE. THE FE
EXTEND INTO MY FRONT YARD SETBACK AREA .

APPLICANT NOTE: Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

CASE # 26-13
Club # 3-5/310

Applicant's Signature

Owner's Signature

Do not write in this space.

Petition granted.

Petition refused.

The following special conditions are imposed.

By Order of the Zoning Hearing Board

**TOWNSHIP OF SPRINGFIELD
COMMUNITY DEVELOPMENT
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

Application Procedures

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight **(8)** copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

A copy of the property deed must accompany all applications. **No applications will be accepted without the deed.**

An explanation of the Petition must be provided with specific details on the nature of the Petition, relief being requested, pertinent code sections, lot and setback criteria, etc.

In order for the Zoning Board to grant a special exception and/or variance request, the statutory guidelines outlined in Section 114-165 of the Township Zoning Code must be met. The explanation of the petition should indicate compliance with those guidelines. It is the applicant's responsibility to provide all necessary information pertaining to the petition.

It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

JULIAN TOLL

Printed Name of Applicant

Applicant's Signature and Date

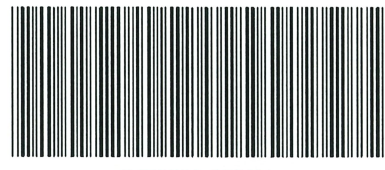
5/27/26



RECORDER OF DEEDS
MONTGOMERY COUNTY
Jeanne Sorg

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869

DEED BK 6423 PG 02460 to 02464
INSTRUMENT # : 2025071464
RECORDED DATE: 12/18/2025 12:47:29 PM



6473501-0021M

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 7192235 - 2 Doc(s)
Document Date: 11/24/2025	Document Page Count: 4
Reference Info:	Operator Id: djohnson1
RETURN TO: (Simplifile) SQS Square Settlements 1430 Walnut St Fl 2 Philadelphia, PA 19102-4024 (484) 999-2441	PAID BY: SQS SQUARE SETTLEMENTS
* PROPERTY DATA:	
Parcel ID #: 52-00-04705-00-4	
Address: 1104 CROMWELL RD	
	WYNDMOOR PA 19038
Municipality: Springfield Township (100%)	
School District: Springfield	
* ASSOCIATED DOCUMENT(S):	

CONSIDERATION/SECURED AMT:	\$557,000.00
TAXABLE AMOUNT:	\$557,000.00
FEES / TAXES:	
Recording Fee:Deed	\$87.75
State RTT	\$5,570.00
Springfield Township RTT	\$2,785.00
Springfield School District RTT	\$2,785.00
Total:	\$11,227.75

DEED BK 6423 PG 02460 to 02464
Recorded Date: 12/18/2025 12:47:29 PM

I hereby CERTIFY that this document is recorded in the Recorder of Deeds Office in Montgomery County, Pennsylvania.

Jeanne Sorg
Recorder of Deeds

Rev1 2016-01-29

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION

Digitally signed 02/04/2026 by montgomery.county.rod@govos.com

Certified and Digitally Signed

Validation may require Adobe 'Windows Integration'

eCertified copy of recorded # 2025071464 (page 1 of 5)
Montgomery County Recorder of Deeds



MONTGOMERY COUNTY COMMISSIONERS REGISTRY
52-00-04705-00-4 SPRINGFIELD TOWNSHIP
1104 CROMWELL RD
DOANE BARRY M & MARY \$15.00
B 087 L 398 U 013 1101 12/17/2025 JU

Prepared by and Return to:

SQS Square Settlements
1430 Walnut Street, 2nd Floor, Philadelphia, PA 19102

File No. 2025-2519-CH

Parcel ID No.: 52-00-04705-00-4

This Indenture, dated November 24, 2025 and made effective December 15, 2025

Between

MARY DOANE

(hereinafter called the Grantor), of the one part, and

JULIAN EDWARD TOLL

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantor for and in consideration of the sum of **FIVE HUNDRED FIFTY SEVEN THOUSAND AND 00/100** (\$557,000.00) lawful money of the United States of America, unto his/her well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantees, as sole owner

Property Address: 1104 Cromwell Road, Wyndmoor, PA 19038



ALL THAT CERTAIN lot of piece of ground with the buildings and improvements thereon erected, SITUATE in Springfield Township, Montgomery County, and State of Pennsylvania, described according to a revision of lots and roads, Whitemarsh Village, Section No. 3, made February 7, 1951, by Franklin and Lindsey, Registered Professional Engineers and recorded at Norristown in the Office for the Recording of Deeds in and for the County of Montgomery, State of Pennsylvania, in Deed Book 2159, Page 601, as follows, to wit:-

BEGINNING at a point on the Southeast side of Cromwell Road (50 feet wide) measured along same the seven following course's and distances from a point of curve on the Southwest side of Delphine Road: (1) on the arc of a circle curving to the left having a radius of 20 feet the arc distance of 42.98 feet to a point of reverse curve on the Southeast side of Cromwell Road (2) on the arc of a circle curving to the right having a radius of 425 feet the arc distance of 67.81 feet to a point of tangent; (3) South 83 degrees, 23 minutes, 10 seconds West, 185.95 feet to a point of curve; (4) on the arc of a circle curving to the left having a radius of 375 feet the arc distance of 246.26 feet to a point of tangent; (5) South 45 degrees, 43 minutes, 50 seconds West, 138.07 feet to a point of curve; (6) on the arc of a circle curving to the left having a radius of 675 feet the arc distance of 101.71 feet to a point of tangent; (7) South 37 degrees, 5 minutes, 50 seconds West, 811.43 feet to the point and place of beginning; thence extending from said beginning point on the arc of a circle curving to the right having a radius of 30 feet the arc distance of 47.12 feet to a point of tangent; thence extending South 52 degrees, 54 minutes, 10 seconds East, 58.42 feet to a point, an angle; thence extending South 51 degrees, 30 minutes East, 311.39 feet to a point; thence extending South 62 degrees, 48 minutes, 41 seconds West, 85.88 feet to a point; thence extending North 52 degrees, 54 minutes, 10 seconds West, 362.45 feet to a point on the Southeast side of Cromwell Road; thence extending along the same, North 37 degrees, 5 minutes, 50 seconds East, 55 feet to the first mentioned point and place of beginning.

BEING Known as Lot No. 398 Cromwell Road on said plan.

PARCEL NO. 52-00-04705-00-4

BEING the same premises that Molly Pankhurst, executrix under the will of Roberta R. Bonniwell, deceased, by deed dated May 28, 1982 and recorded June 1, 1982 in the Office of the Recorder of Deeds of Montgomery County, PA, in Deed Book 4685, Page 417, granted and conveyed unto Barry Michael Doane and Mary Doane, his wife, as tenants by the entireties, in fee.

And the said Barry Michael Doane departed this life on November 13, 2024 whereby title became vested in Mary Doane, by right of survivorship.

Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of his/her, the said grantor, as well at law as in equity, of, in and to the same.



To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

And the said Grantor, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantee, their heirs and assigns, that he/she, the said Grantor, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against him/her, the said Grantor, and their heirs, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.



In Witness Whereof, the party of the first part has hereunto set his/her hand and seal. Dated the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US:

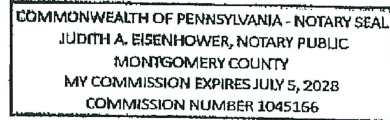
Mary Doane
Mary Doane

STATE OF Pennsylvania
COUNTY OF Montgomery

On this, the 24 day of October, 2025, before me Judith A. Eisenhower, the undersigned officer, personally appeared Mary Doane, known to me (or satisfactorily proven) to be the person(s) whose name(s) is/are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seals.

Judith A. Eisenhower
Signature



The precise residence and the complete post office address of the above-named Grantees is:
1104 Cromwell Road, Wyndmoor, PA 19038

Blair Blake
On behalf of the Grantees



MAX TOLL

PET OWNER: **TOLL**
SPECIES: **Canine**
BREED: **Havanese**
GENDER: **Male Neutered**
AGE: **9 Months**
PATIENT ID: **11929 A**

Center City Veterinary Hospital
37 South 3rd Street
Philadelphia, PA 19106
215-923-2284
ACCOUNT #: **14279**
ATTENDING VET: **Dr. Michael Cohen (MC)**

LAB ID: **1700968232**
ORDER ID: **321228714**
COLLECTION DATE: **5/6/26**
DATE OF RECEIPT: **5/6/26**
DATE OF RESULT: **5/7/26**

IDEXX Services: **Lab 4Dx® Plus with Reflex Lyme Quant C6® (If Indicated)**

Serology



5/6/26 (Order Received)
5/7/26 6:08 AM (Last Updated)

TEST	RESULT
Heartworm Antigen	^a Negative
Ehrlichia spp.	^b Negative
Lyme (Borrelia burgdorferi)	Negative
Anaplasma spp.	^c Positive

- ^a View your results in VetConnect PLUS for patient-specific interpretations that incorporate clinical signs. Further information on the diagnosis and management of tick/vector-borne diseases can be found at idexx.com/4DxGuide.
This test is not suitable for export. If testing is required for export, please select test codes marked "export".
- ^b This test is not suitable for export. If testing is required for export, please select test codes marked "export".
- ^c For more information on the diagnosis and management of Tick/Vector-borne diseases, see www.idexx.com/4DxGuide.

Select a language... ▾

Anaplasmosis

[Copy Title & URL](#)

Page M

Becky Lundgren, DVM

Revised: June 19, 2025

Published: April 08, 2014



Ixodes scapularis (often commonly called the deer tick, blacklegged tick, or bear tick) is the primary vector for granulocytic anaplasmosis in the Midwest and Northeastern United States. Photo courtesy of USDA.

Anaplasmosis is a tick-borne disease, and two forms of anaplasmosis are known: granulocytic anaplasmosis and infectious cyclic thrombocytopenia. Granulocytic anaplasmosis is more common, and a dog can have both infections at the same time.

Transmission is via a tick vector: a vector is an organism that can passively carry and transmit disease. A feeding time of 24-48 hours is needed for the ticks to transmit enough *A. phagocytophilum* to cause infections. Movement of the organism from

Chapter 114. Zoning

Article XIII. General Regulations

§ 114-135. Fences and walls.

[Amended 3-10-1965 by Ord. No. 521; 9-9-1987 by Ord. No. 750]

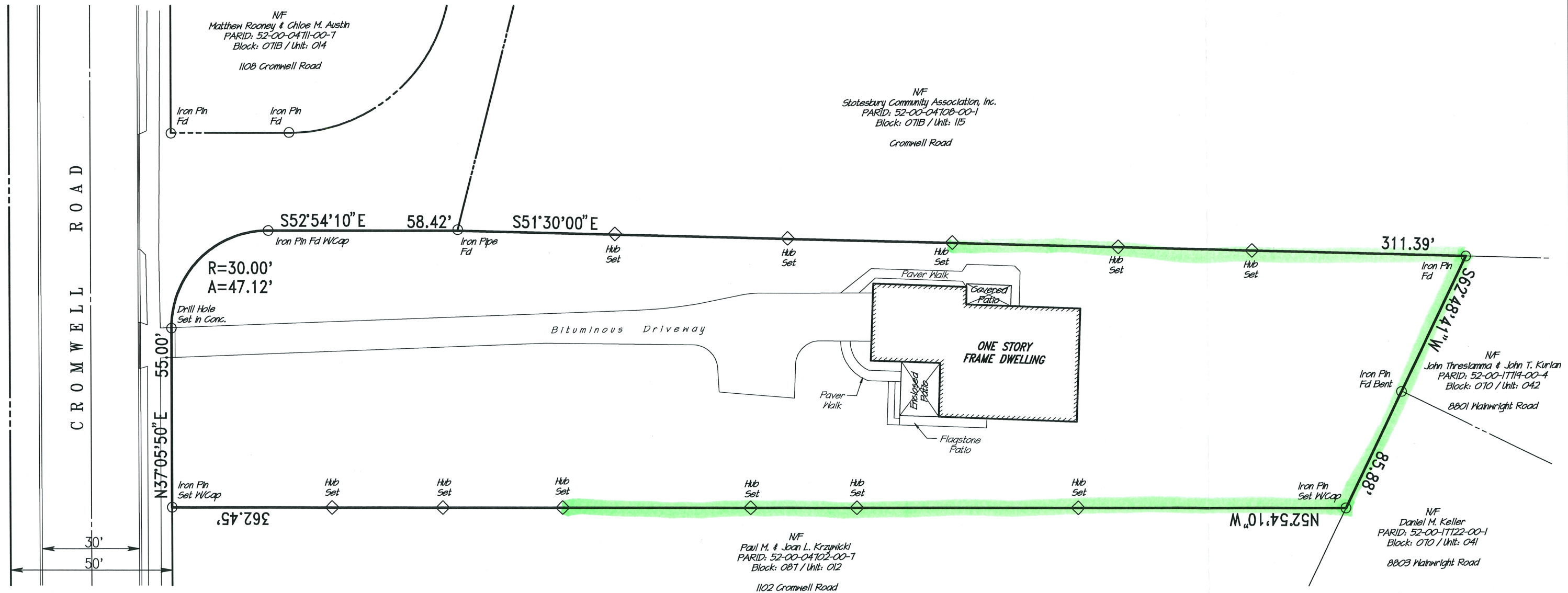
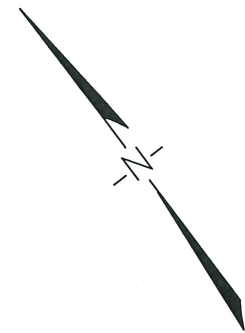
- A. Front yards. Fences located within the front yard shall not exceed four feet in height. However, a five-foot fence may be erected if set back 10 feet from the property line, curb or edge of paving, whichever creates the greatest setback. In addition, a six-foot fence may be erected if set back 15 feet from the property line, curb or edge of paving, whichever creates the greatest setback.
- B. Side and rear yards. Fences located within the side or rear yards shall not exceed six feet in height.
- C. Exceptions. Where any ordinance or ordinances of the Township or regulations thereunder now in effect or hereafter passed or promulgated shall require a fence of a different height or nature than herein specified, for special situations, such other ordinance or ordinances or regulations thereunder shall control rather than the provisions of this section.^[1] The provisions of this section shall not pertain to retaining walls or walls of a building. No fence may be erected or maintained which creates a safety hazard as determined by the Springfield Township Police Department.

[1] *Editor's Note: See Ch. 29, Excavations, Art. I, Fencing; Ch. 98, Swimming Pools; and Ch. 105, Vehicles, Abandoned and repairable; Junkyards, for other ordinances containing fencing requirements.*

NOTES:

1. INFORMATION SHOWN TAKEN FROM A RETRACEMENT LAND SURVEY PERFORMED BY CHARLES E. SHOEMAKER, INC. ON DURING MAY OF 2026. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
2. BOUNDARY INFORMATION TAKEN FROM DEEDS AND PLANS OF RECORD.
3. REFERENCE PLAN:
REVISION OF LOTS AND ROADS WHITEMARSH VILLAGE-SECTION No. 3 BY FRANKLIN & LINDSEY, REGISTERED PROFESSIONAL ENGINEERS DATED FEBRUARY 7, 1951.

STOTESBURY TOWNHOMES REVISED SECTION 3 SUBDIVISION PLAN PREPARED FOR EVANS BUILDERS, INC. BY C. RAYMOND WEIR ASSOCIATES, INC. DATED JULY 18, 1985, LAST REVISED JUNE 10, 1986.

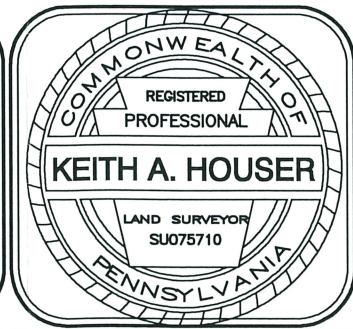


PLOT OF SURVEY
OF
1104 CROMWELL ROAD
MADE FOR
JULIAN TOLL
SPRINGFIELD TOWNSHIP, MONTGOMERY COUNTY, PA.

OWNER
JULIAN EDWARD TOLL
1104 CROMWELL ROAD
WYNDMOOR, PA. 19038

COUNTY PARCEL No. 52-00-04705-00-4	SITE ADDRESS 1104 CROMWELL ROAD WYNDMOOR, PA. 19038
BLOCK / UNIT No. 087-013	

CHARLES E. SHOEMAKER, INC.
ENGINEERS & SURVEYORS
110 KEYSTONE DRIVE MONTGOMERYVILLE, PA. 18936
PHONE: 215-887-2165 FAX: 215-576-7791
E-MAIL: staff@ceshoemaker.com
SCALE 1" = 30'



JOB NO. 27800	DWG NO. SP-820
DATE MAY 26, 2026	
SHEET NO. 1 OF 1	



The Township of Springfield

MONTGOMERY COUNTY, PENNSYLVANIA

Township Bldg., 1510 Paper Mill Rd., Wyndmoor, PA 19038

website: www.SpringfieldMontco.org

Phone: 215-836-7600

Fax: 215-836-7180

COMMISSIONERS

Susanna O. Ratsavong
President

Brendan May
Vice President

Elizabeth McNamara
James M. Lee
Robert C. Goldberg
Edward H. Morris III
Thaddeus S. Kirk

OFFICERS

A. Michael Taylor
Secretary-Manager

Andrew R. Freimuth
Solicitor

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Zoning Hearing Board Notice

Notice is hereby given that the Zoning Hearing Board of Springfield Township, Montgomery County, will hold a meeting as required by the Township's Zoning Ordinance. This meeting will be in the Boardroom of the Springfield Township Administration Building, located at 1510 Paper Mill Road, Wyndmoor, PA 19038.

Monday, June 29, 2026, at 7:00 p.m. at which time a public meeting will commence on the following application:

Case #26-12: This is the application of **Ariel & Timothy Saiber**, owners of the property located at 323 Garth Road, Oreland, PA 19075, and known as Parcel #5200-0684-1001. The applicants seek approval to construct an addition to the side of the home that would encroach 2 feet into the required 10-foot minimum side yard setback and reduce the aggregate side yard setback to 23 feet, instead of the required 25 feet. The applicants seek a variance from Section 114-64. B-1. of the Springfield Township Zoning Ordinance. The property is zoned within the B-Residential District of Ward #3 of Springfield Township.

A copy of the application and information submitted with this application is on file in the Community Development Office and may be reviewed during normal business hours. In addition, all information submitted is posted on our website @springfieldmontco.org.

By Order of the Springfield Township
Zoning Hearing Board
Mark A. Penecale
Director of Planning & Zoning

THERE IS A 30-DAY PERIOD AFTER THE DATE THE DECISION IS RENDERED FOR ANY AND ALL AGGRIEVED PERSONS TO FILE AN APPEAL IN THE APPROPRIATE COURT TO CONTEST THE ACTIONS OF THE ZONING HEARING BOARD. APPLICANTS THAT TAKE ACTION ON ANY ZONING HEARING BOARD APPROVAL DURING THE 30-DAY APPEAL PERIOD, DO SO AT THEIR OWN RISK.

TOWNSHIP OF SPRINGFIELD
MONTGOMERY COUNTY
1510 PAPER MILL ROAD
WYNDMOOR, PA 19038

NO. 26 12

DATE: 5/18

PETITION

SPRINGFIELD TOWNSHIP ZONING HEARING BOARD

We Ariel & Timothy Saiber
(Name of Applicant)

Of (Address) 323 Garth Road, Oreland Pa 19075

(Telephone No.) 215 887 1373

do hereby make application before the Springfield Township Zoning Hearing Board to request:

 An **appeal** from the decision of the Zoning/Building Official.

 X A **special exception** as provided for in Article 114, Section 64,
Subsection B.1, of the Springfield Township Zoning Code.

 A **variance** from the requirements set forth in Article , Section ,
Subsection , of the Springfield Township Zoning Code.

 Other (please specify)

The property concerned is located at 323 Grath Road, Oreland Pa 19075

Petitioner's Interest in the property is Property Owner

Present use of property Single Family Dwelling

Explanation of Petition: Variance and Special Exception Requests must meet the statutory guidelines Outlined in Section 114-165 of the Township Zoning Code. The following explanation should indicate Compliance with those guidelines.

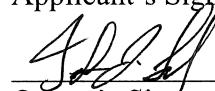
We seek a special exception from Section 114 64.B.1 to reduce the required side yard

setback from 10 ft. to 8 ft in width, to allow for an addition to the home. We also seek

relief to reduce the combined side yard setbacks from 25 feet to 23 feet in width. The proposed addition will allow for an expansion of the home for our growing family.

APPLICANT NOTE: Petition must be accompanied by eight (8) sets of scaled drawings or plans, Application Fee and a copy of the property deed.

Applicant's Signature



Owner's Signature

Do not write in this space.

Petition granted.

Petition refused.

The following special conditions are imposed.

By Order of the Zoning Hearing Board

**TOWNSHIP OF SPRINGFIELD
COMMUNITY DEVELOPMENT
ZONING INFORMATION AND FEE SCHEDULE**

**NOTICE TO APPLICANTS WHO WISH TO APPEAR BEFORE
THE ZONING HEARING BOARD OF SPRINGFIELD TOWNSHIP**

Application Procedures

Applicants must complete the standard Petition form **TYPED** and signed in **TRIPLICATE** and file same with the Zoning Officer by the **last day** of the month preceding the public hearing date. The Zoning Board Hearings are normally held on the **fourth Monday** of each month with the exception of a chosen

summer month.

Applications **must** be accompanied by eight (**8**) copies of **scaled** drawings including sketches, or drawings indicating lot lines, building dimensions, yard distances, and any other illustrative data relating to the Petition. Pertinent photographs and letters from immediate neighbors are also helpful for the record but need not be filed unless required by the Zoning Hearing Board.

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It is required that the Applicant, or in the case of an organization to have one of its corporate officers, be present to testify at the hearing. Applicants have the right to be represented by an attorney.

Petitions are listed on the Zoning Hearing Board Agenda in the date order in which they are received.

In accordance with the **Pennsylvania Municipalities Planning Code, Act 247, Section 908**, it will be necessary for Springfield Township to post notice of this Hearing. Such posting is to be conspicuously displayed on the affected tract of land or building.

Filing Fees and Costs

Each applicant must pay the requisite application fee when filing a Petition to the Zoning Hearing Board:

1. A filing fee of **\$500.00** shall be required with respect to any Petition dealing exclusively with single or two-family residential property and the residential use, including accessory use thereof. Such a Petition may involve an appeal from a decision of the Zoning Officer, an application for a Special Exception, and/or a Variance or any other appeal the Board is empowered to hear.
2. A filing fee of **\$1,200.00** shall be required with respect to any petition to the Zoning Hearing Board for any matter dealing with non-residential property or the non-residential use thereof, and/or multi-family use.
3. A continuance fee equal to 50% of the application fee will be charged for each continuance that is requested by the applicant.

Filing fees are applied to clerical, advertising, mailing, administrative, legal and stenographic costs associated with the Hearing and are not refundable to Applicant. The filing fee has been established to pay the costs associated with one hearing. In those instances where hearings are continued and the original filing fee and/or continuance fee does not cover the additional costs incurred by the Township, the costs will be assessed upon the Applicant.

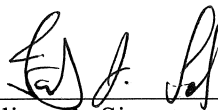
Should a written record, including a stenographic transcript, of the proceedings before the Zoning Hearing Board, be appropriate or required, the Applicant or the Appellant, as the case may be, will be billed and required to pay for the costs of preparing such a written record. In such a case there shall not be any credit granted to anyone as a result of the filing fee initially paid.

The Zoning Hearing Board may deem it appropriate to have a stenographic transcript of the proceedings in any matter before it in order that a decision and opinion may be made. In such a case the cost thereof shall be borne initially by the Applicant and thereafter by the Appellant, upon appeal as a part of the cost of the entire written record of the proceedings.

I have read the Application Procedure and the Schedule of Filing Fees and Costs and agree to be bound by the provisions thereof.

Timothy J. Saiber

Printed Name of Applicant



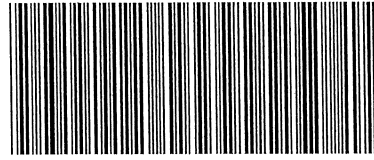
Applicant's Signature and Date

RECORDER OF DEEDS
MONTGOMERY COUNTY
Nancy J. Becker

One Montgomery Plaza
Swede and Airy Streets ~ Suite 303
P.O. Box 311 ~ Norristown, PA 19404
Office: (610) 278-3289 ~ Fax: (610) 278-3869



DEED BK 5677 PG 02309 to 02313
INSTRUMENT # : 2008001456
RECORDED DATE: 01/04/2008 02:33:31 PM



0249347-0013Q

MONTGOMERY COUNTY ROD

OFFICIAL RECORDING COVER PAGE

Page 1 of 5

Document Type: Deed	Transaction #: 183762 - 3 Doc(s)
Document Date: 12/27/2007	Document Page Count: 4
Reference Info: SAIBER	Operator Id: tbutler

RETURN TO: (Simplifile) Mutual Abstract Company 421 Bustleton Pike Feasterville, PA 19053 (215) 355-6300	SUBMITTED BY: Mutual Abstract Company 421 Bustleton Pike Feasterville, PA 19053 (215) 355-6300
---	---

*** PROPERTY DATA:**
Parcel ID #: 52-00-06841-00-1
Address: 323 GARTH RD

PA
19075
Municipality: Springfield Township
School District: Springfield

*** ASSOCIATED DOCUMENT(S):**

CONSIDERATION/SECURED AMT: \$225,000.00

DEED BK 5677 PG 02309 to 02313
Recorded Date: 01/04/2008 02:33:31 PM

FEES / TAXES:

Recording Fee:Deed	\$46.50
Additional Names Fee	\$0.50
Affordable Housing Names	\$0.50
State RTT	\$2,250.00
Springfield Township RTT	\$1,125.00
Springfield School District RTT	\$1,125.00
Total:	\$4,547.50

I hereby CERTIFY that
this document is
recorded in the
Recorder of Deeds
Office in Montgomery
County, Pennsylvania.



Nancy J. Becker
Recorder of Deeds

PLEASE DO NOT DETACH

THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.



*Prepared By
Return to*

MUTUAL ABSTRACT COMPANY
421 Bustleton Pike
Feasterville, PA 19053
215-355-6300

30105

MONTGOMERY COUNTY COMMISSIONERS REGISTRY
52-00-06841-00-1 SPRINGFIELD TOWNSHIP
323 GARTH RD
1101 \$5.00
B 079 L 370 U 092 PHILLIPS EDITH N TR DATE: 01/04/2008

Parcel #52-00-06841001

This Indenture

Made the 27th day of December, 2007,

Between

EDITH N. PHILLIPS, TRUSTEE FOR LOUISE ANN CARROLL and STEPHEN PHILLIPS, children

(hereinafter called the Grantors), of the one part, and

TIMOTHY SAIBER and ARIEL SAIBER

(hereinafter called the Grantees), of the other part;

Witnesseth, That the said Grantors for and in consideration of the sum of **TWO HUNDRED TWENTY FIVE THOUSAND DOLLARS 00/100 (\$225,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hercof, the receipt whereof is hereby acknowledged, granted, bargained and sold, aliened, enfeoffed, released and confirmed, and by these presents do grant, bargain, sell, alien, enfeoff, release and confirm unto the said Grantees, as tenants by the entirety,

ALL THAT CERTAIN LOT OR PIECE OF GROUND WITH THE BUILDINGS AND IMPROVEMENTS THEREON ERECTED, SITUATE IN THE TOWNSHIP OF SPRINGFIELD AND COUNTY OF MONTGOMERY, COMMONWEALTH OF PENNSYLVANIA, KNOWN AS LOT NO. 370 ON A PLAN CALLED "SUNNYBROOK-NORTH HILLS" MADE FOR SUNNYBROOK, INC., DATED JUNE 1, 1946, BY BARTON AND MARTIN, ENGINEERS, AND RECORDED AT NORRISTOWN IN THE OFFICE FOR THE RECORDING OF DEEDS IN AND FOR THE COUNTY OF

Mutual Abstract Company
421 BUSTLETON PIKE
FEASTERVILLE, PA 19053

30105

(1)

Deed-Trustee



MONTGOMERY IN PLAN BOOK NO. 1680-A AT PAGE 55, AND MORE PARTICULARLY BOUNDED AND DESCRIBED, AS FOLLOWS:

SITUATE ON THE NORTHEASTERLY SIDE OF GARTH ROAD (FIFTY FEET WIDE) AT THE DISTANCE OF ONE HUNDRED FEET (100') MEASURED SOUTH FORTY-EIGHT (48) DEGREES, FORTY-EIGHT (48) MINUTES, THIRTY (30) SECONDS EAST FROM ITS INTERSECTION WITH THE SOUTHEASTERLY SIDE OF ALLISON ROAD (FIFTY FEET WIDE) (BOTH LINES PRODUCED).

CONTAINING IN FRONT OR BREADTH ON SAID NORTHEASTERLY SIDE OF GARTH ROAD, SIXTY FEET (60') AND EXTENDING OF THAT WIDTH IN LENGTH OR DEPTH NORTHEASTWARDLY BETWEEN PARALLEL LINES AT RIGHT ANGLES TO SAID SIDE OF GARTH ROAD ONE HUNDRED THIRTY-FIVE FEET (135')

BEING KNOWN AS 323 GARTH ROAD

BEING TAX PARCEL NUMBER 52-00-06841001

Being the same premises which Louis Phillips and Edith N. Phillips, husband and wife by Deed dated 7-15-99 and recorded 12-14-99 in Montgomery County in Deed Book 5300 Page 888 conveyed unto Edith N. Phillips, Trustee for Louise Ann Carroll and Stephen Phillips, children, in fee.

Together with all and singular the buildings, improvements, ways, waters, water-courses, driveways, rights, liberties, privileges, hereditaments and appurtenances, whatsoever thereunto belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said grantors, in law, equity, or otherwise howsoever, of, in and to the same and every part thereof.

To have and to hold the said buildings with the hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

And the said Grantors, for themselves and their heirs, executors and administrators, do, do covenant, promise and agree, to and with the said Grantees, their heirs and assigns, by these presents, that the said Grantors, have not done, committed, or knowingly or willingly suffered to be done or committed, any act, matter or thing whatsoever whereby the premises hereby granted, or any part thereof, is are, shall or may be impached, charged or incumbered, in title, charge, estate, or otherwise howsoever.



In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

Sealed and Delivered
IN THE PRESENCE OF US:

[Signature]

Edith N Phillips {SEAL}
Edith N. Phillips, Trustee

[Signature]

[Signature] {SEAL}
Louise Ann Carroll, Beneficiary

[Signature]

[Signature] {SEAL}
Stephen Phillips, Beneficiary

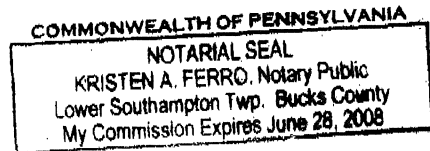
Commonwealth of Pennsylvania :
County of Bucks : ss

On this the 27th day of December, 2007, before me, a Notary Public for the Commonwealth of Pennsylvania, residing in the County of Bucks, the undersigned Officer, personally appeared Edith N. Phillips, Trustee for Louise Ann Carroll and Stephen Phillips, known to me (satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

[Signature]

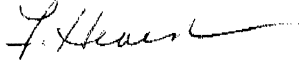
Notary Public
My commission expires _____



FROM: **Edith N. Phillips, Trustee for Louise Ann Carroll and Stephen Phillips, children**
 TO: **Timothy Saiber and Ariel Saiber**
 PREMISES: **323 Garth Road, Oreland, Pa. 19075**
 FILE NO: **20105LAW**

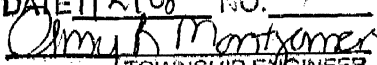
THE ADDRESS OF THE ABOVE-NAMED GRANTEE IS:

**323 Garth Road
 Oreland, Pa. 19075**



RETURN DOCUMENT TO:

**Mutual Abstract Company
 Telephone: 215-355-6300 Fax: 215-355-6682
 421 Bustleton Pike
 Feasterville, PA 19053**

TOWNSHIP OF SPRINGFIELD
 MONTGOMERY COUNTY, PA
 - REGISTERED -
 DATE 1/2/08 NO.

 TOWNSHIP ENGINEER

Deed-Trustee



Chapter 114. Zoning

Article VI. B Residence District

§ 114-64. Yards.

A. Front yards.

- (1) General requirement. There shall be a front yard, the depth of which shall be at least 30 feet, provided that in the case of a lot extending through from one street to another, the street lines of which are not more than 150 feet apart, the depth of the front yard on the rear street line of such lot may be decreased when authorized as a special exception.
[Amended 3-11-1970 by Ord. No. 591]
- (2) Corner lots. In the case of a corner lot, a front yard, as provided for in Subsection **A(1)** above, shall be required on each street on which the lot abuts, provided that, if at the time this chapter becomes effective any corner lot is held in single and separate ownership with a width of less than 85 feet, the depth of the front yard on the long side of such lot may be decreased when authorized as a special exception.

B. Side yards.

- (1) Single-family dwellings. In the case of a single-family dwelling, there shall be two side yards, one on each side of the main building, together having an aggregate width of at least 25 feet, but neither side yard shall be less than 10 feet wide, provided that in the case of a lot held in single and separate ownership at the effective date of this chapter, of a width less than 70 feet, a single-family dwelling may be built thereon with side yards of less width when authorized as a special exception, and provided further that in the case of a single-family dwelling, constructed with its greater dimension parallel with the front street, a one-story open or enclosed porch may project into one of the side yards, provided that the width of such side yard is not hereby reduced to less than the required 10 feet.
- (2) Other buildings. in the case of any building other than a single-family dwelling or a building accessory thereto, there shall be two side yards, one on each side of the main building. If such building is not over 40 feet high, the width of each of the two side yards shall be at least 20 feet, and if such building is over 40 feet high, this width shall be increased five feet for each 12 feet or portion thereof by which the building exceeds 40 feet in height.

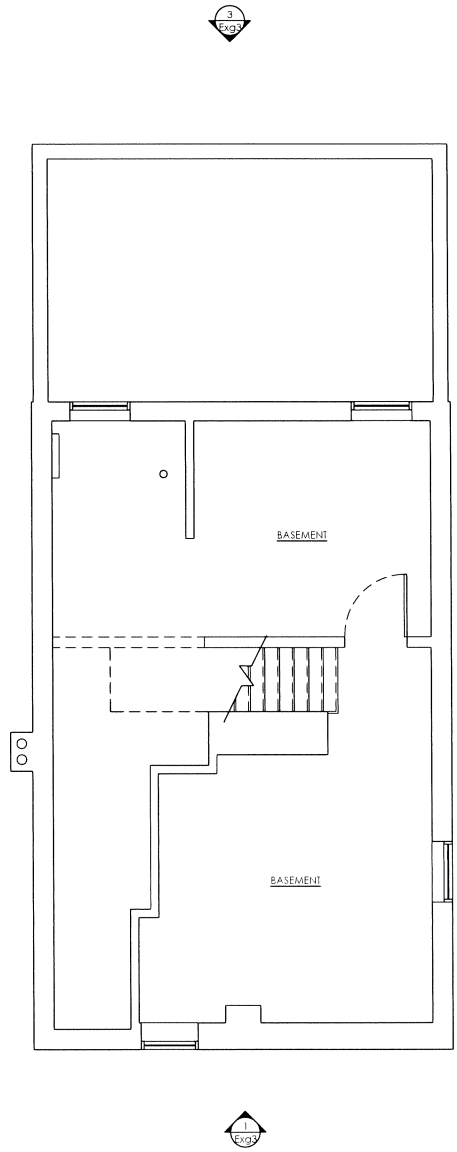
- ##### C. Rear yards.
- There shall be a rear yard, the depth of which shall be at least 25 feet, provided that in the case of any lot which, at the time this chapter becomes effective, is held in single and separate ownership and which has a depth of less than 100 feet, the depth of the rear yard shall be at least 15 feet. In the case of a building over 40 feet high, the depth shall be increased five feet for each 12 feet or portion thereof by which the building exceeds 40 feet in height.

**CHERYL
POULOS
ARCHITECT**

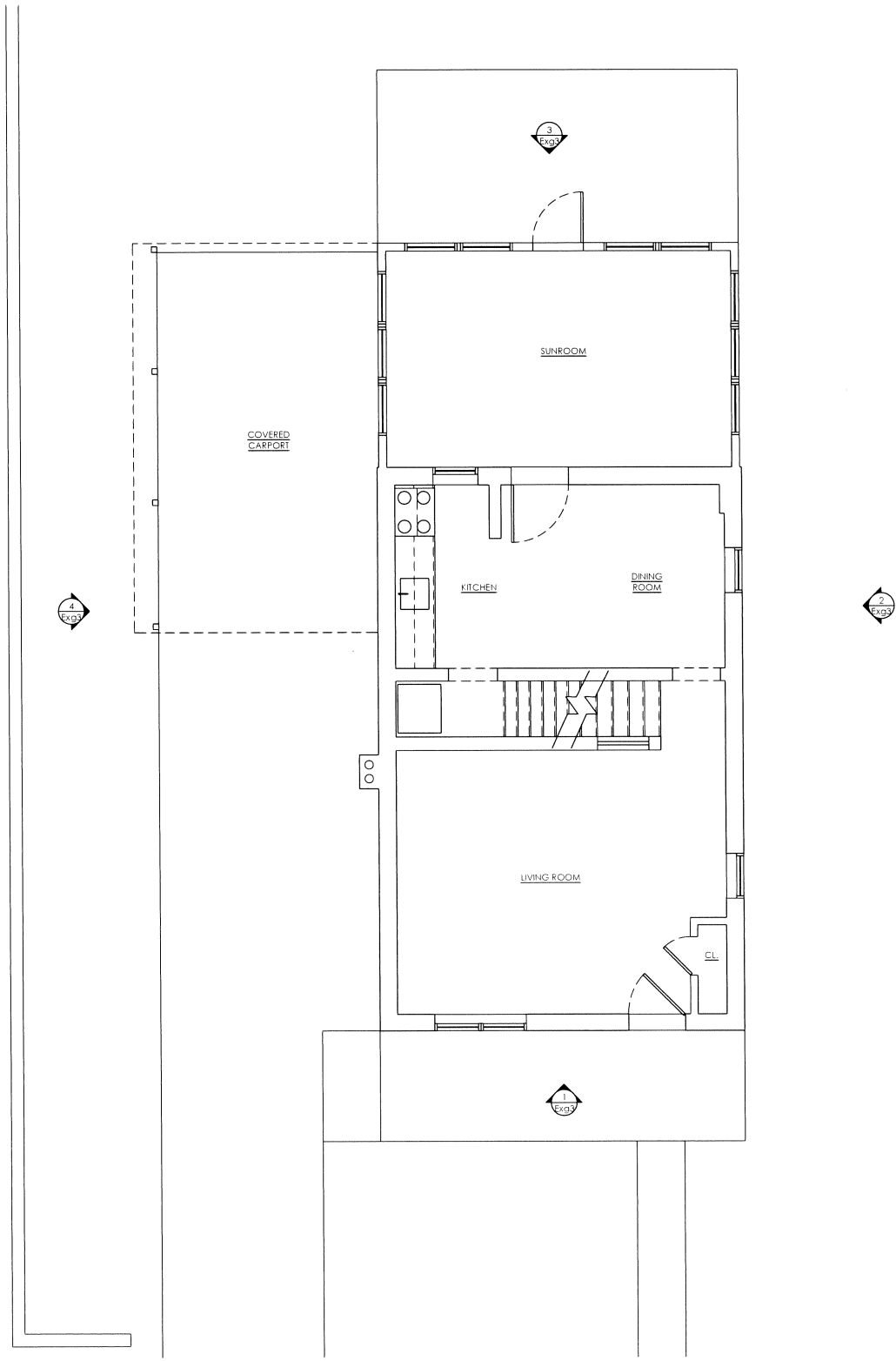
1014 County Line Road,
Philadelphia PA 19116
p: 215.570.5056
cpoulosarchitect@gmail.com

CONSULTANTS:
**LEAKE
ENGINEERING LLC**
101 West Edge Road #100, Havertown, PA 19083
info@leakeengineering.com
leakeengineering.com

**323 GARTH ROAD
ORELAND, PA 19075**



1 EXISTING BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE	10.03.25
SCALE	AS NOTED
DRAWN BY	CP

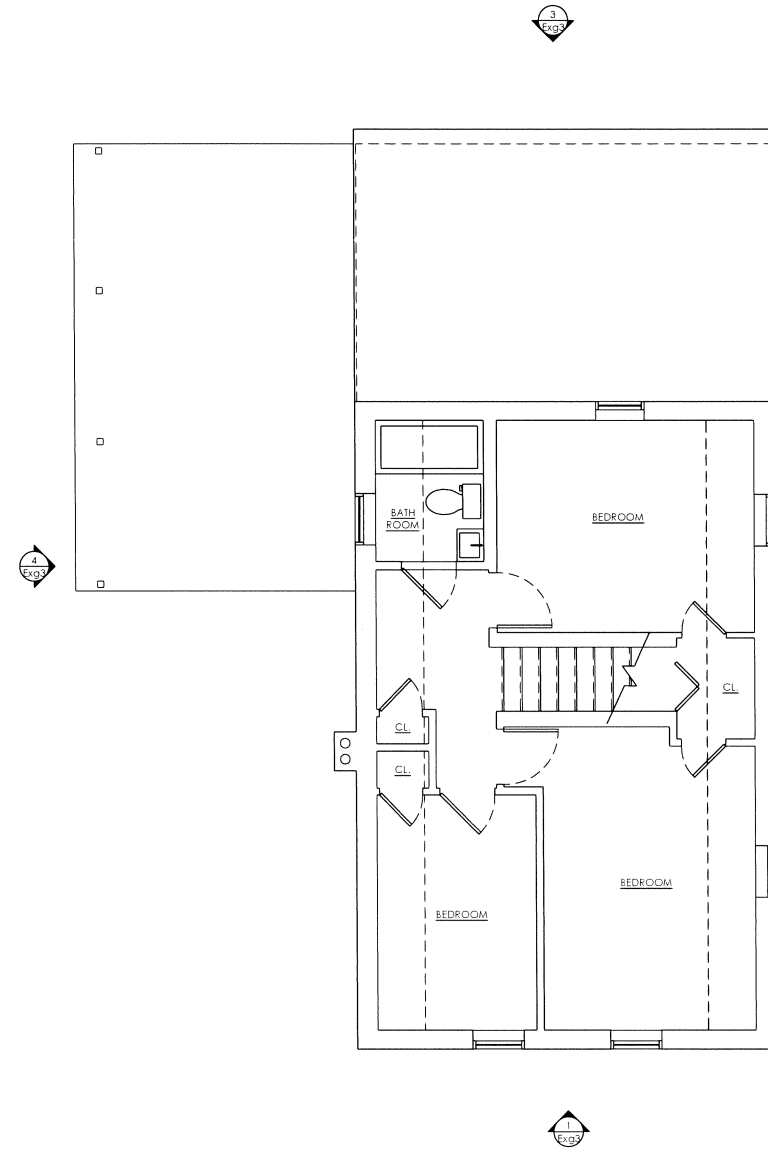
Exg-1

**CHERYL
POULOS
ARCHITECT**

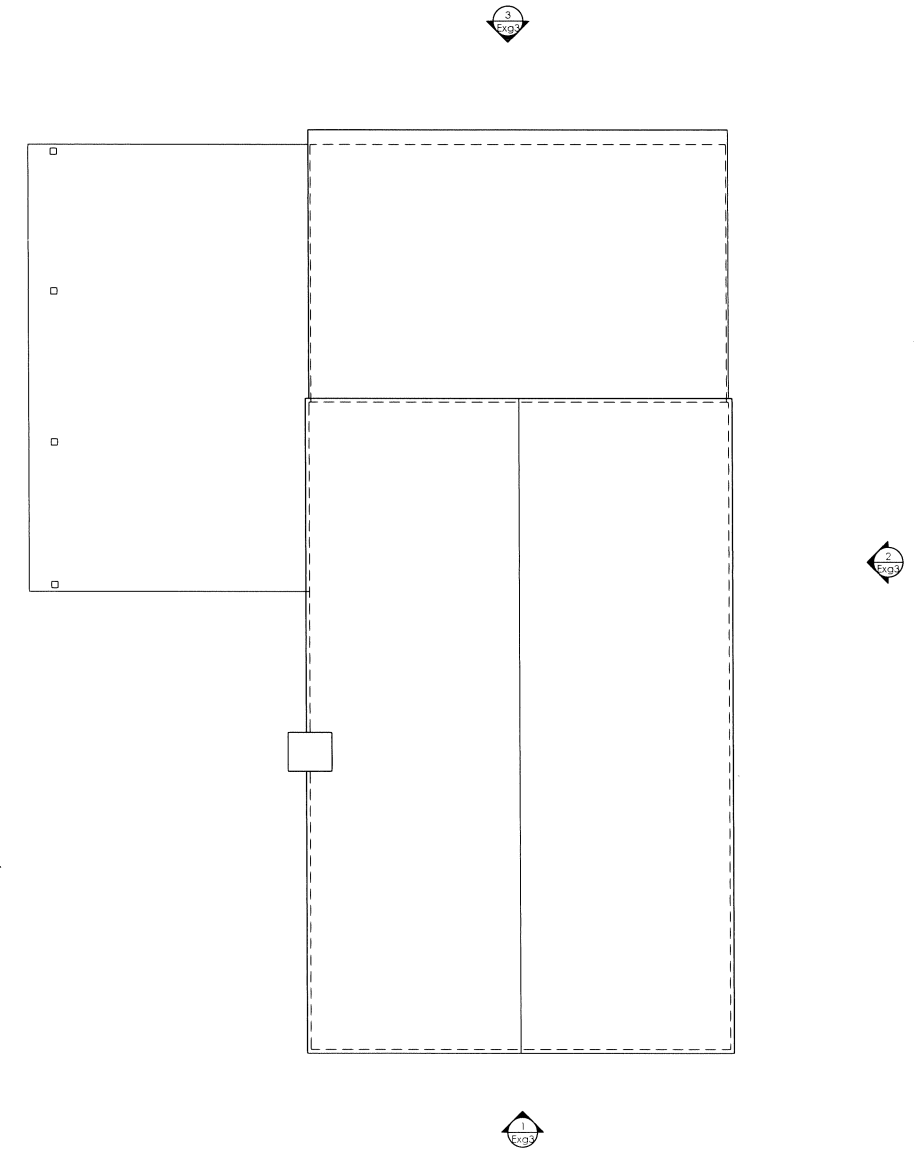
1014 County Line Road,
Philadelphia PA 19116
p: 215.570.5056
cpoulosarchitect@gmail.com

CONSULTANTS:
**LEAKE
ENGINEERING LLC**
105 West Edge Road #200, Havertown, PA 19083
info@leakeengineering.com
leakeengineering.com

**323 GARTH ROAD
ORELAND, PA 19075**



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

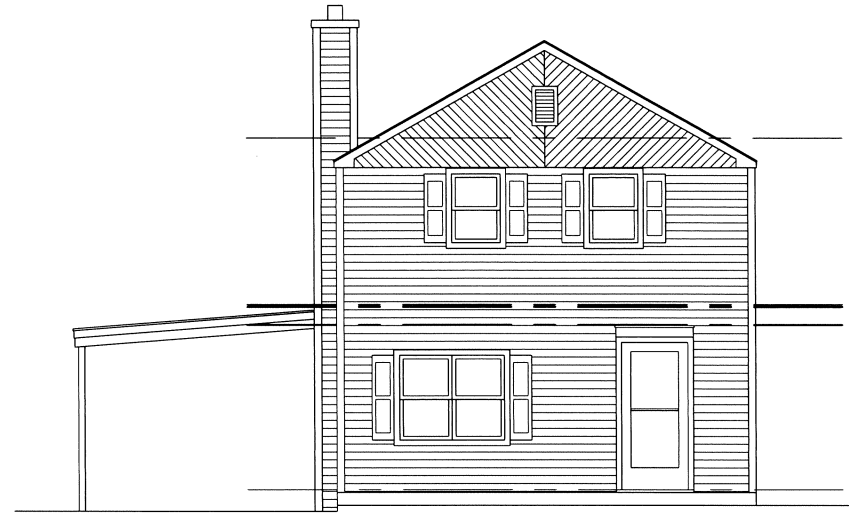
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Exg-2

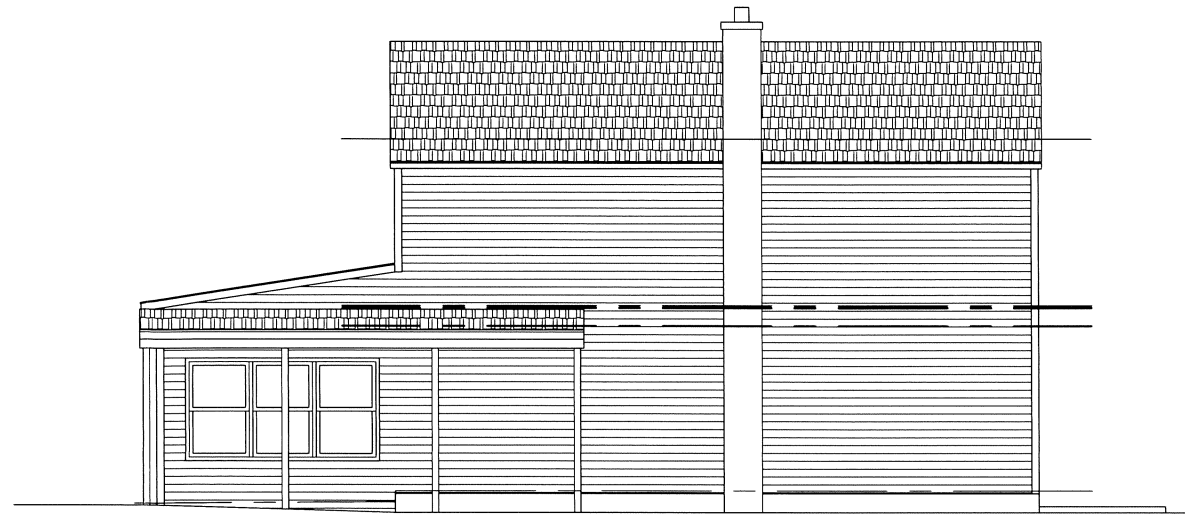
**CHERYL
POULOS
ARCHITECT**

1014 County Line Road,
Philadelphia PA 19116
p: 215.570.5056
cpoulosarchitect@gmail.com

CONSULTANTS:
**LEAKE
ENGINEERING LLC**
101 West Eagle Road #109, Havertown, PA 19083
info@leakeengineering.com
leakeengineering.com



1 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

323 GARTH ROAD
ORELAND, PA 19075

DATE	10.03.25
SCALE	AS NOTED
DRAWN BY	CP

Exg-3

323 GARTH ROAD ORELAND, PA 19075

**CHERYL
POULOS
ARCHITECT**

1014 County Line Road,
Philadelphia PA 19116
p: 215.570.5056
cpoulosarchitect@gmail.com

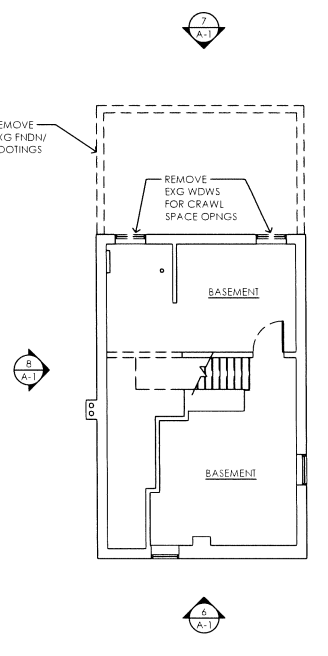
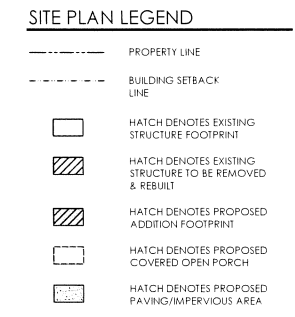
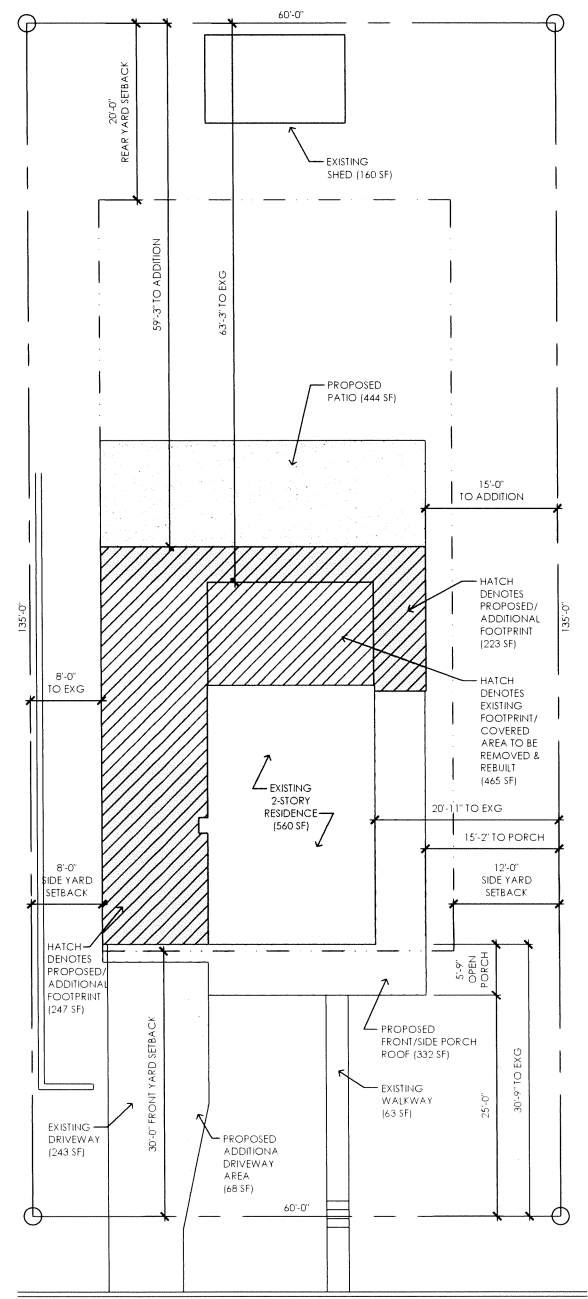
CONSULTANTS:
**LEAKE
ENGINEERING LLC**
301 West Eagle Road #180, Havertown, PA 19083
leakeengineering.com

DRAWING INDEX

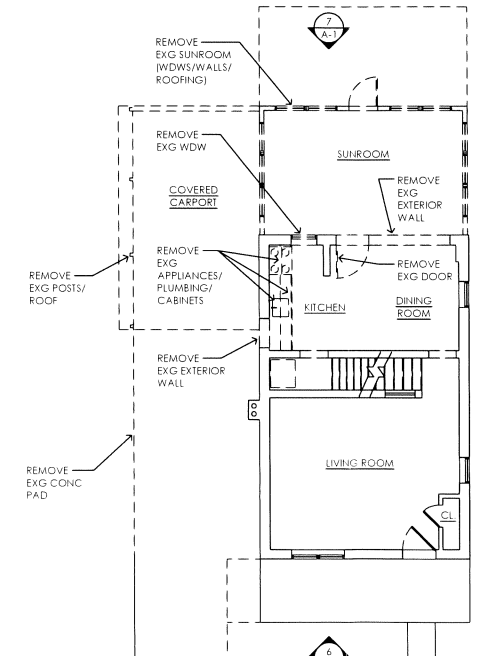
DRAWING NUMBER	DRAWING TITLE	FOR PERMIT	11.14.25
A-1	COVER, PROPOSED SITE PLAN AND DEMO PLANS	●	
A-2	PROPOSED FLOOR PLANS AND SCHEDULES	●	
A-3	PROPOSED EXTERIOR ELEVATIONS	●	
A-4	PROPOSED EXTERIOR ELEVATIONS	●	
S-1	STRUCTURAL FRAMING PLANS	●	
S-2	STRUCTURAL FRAMING PLANS	●	
E-1	PROPOSED LIGHTING/ELECTRICAL FLOOR PLANS	●	

GENERAL DRAWING NOTES

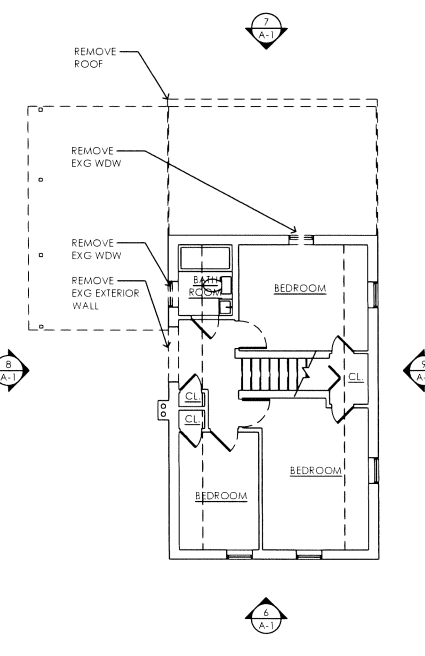
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS, ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES, SHALL BE REPEATED.
- CONTRACTOR TO VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE AND TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES AND/OR DEVIATIONS FROM DRAWINGS. PROPOSED REMEDIES, IF REQUIRING ADDITIONAL WORK, ARE TO BE SUBMITTED FOR APPROVAL IN THE FORM OF WRITTEN CHANGE ORDERS TO THE OWNER IN ACCORDANCE WITH THE TERMS OF THE CONTRACT BEFORE ORDERING MATERIAL OR COMMENCING WITH WORK.
- ITEMS NOT NOTED AS EXISTING ARE PROPOSED. DOORS AND WINDOWS NOT NUMBERED ON THE FLOOR PLANS OR ELEVATIONS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE.
- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS ARE INDICATED ON ARCHITECTURAL DRAWINGS FOR COORDINATION ONLY.



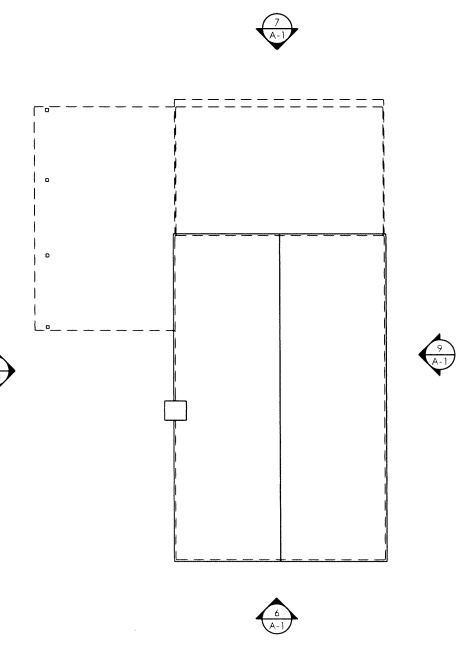
2 EXISTING/DEMO BASEMENT PLAN
SCALE: 1/8" = 1'-0"



3 EXISTING/DEMO FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



4 EXISTING/DEMO SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

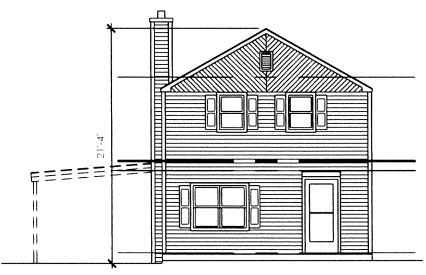


5 EXISTING/DEMO ROOF PLAN
SCALE: 1/8" = 1'-0"

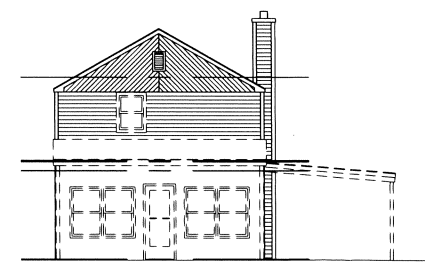


ZONING REQUIREMENTS

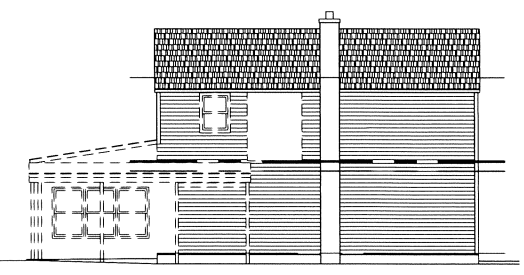
TOPIC	CODE REQUIREMENT	EXISTING	PROPOSED
ZONING CLASSIFICATION	B	B	NO CHANGE
MINIMUM LOT AREA	7,200 SF	8,100 SF	NO CHANGE
MINIMUM FRONT YARD SETBACK	30'-0"	30'-0"	NO CHANGE
SETBACK TO OPEN PORCH	---	---	25'-0"
MINIMUM SIDE YARD SETBACK	5'-0" MIN	8'-0"	NO CHANGE
MINIMUM REAR YARD SETBACK	30'-0" AGG	20'-11"	15'-0"
MINIMUM BUILDING COVERAGE	20-0%	63.7%	23-0%
MINIMUM IMPERVIOUS COVERAGE	40%	25.1%	34.6%
MAXIMUM HEIGHT	35'-0"	21'-4"	NO CHANGE



6 EXISTING/DEMO FRONT ELEVATION
SCALE: 1/8" = 1'-0"



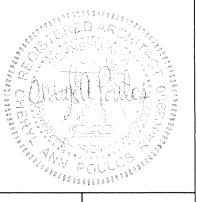
7 EXISTING/DEMO REAR ELEVATION
SCALE: 1/8" = 1'-0"



8 EXISTING/DEMO SIDE ELEVATION
SCALE: 1/8" = 1'-0"



9 EXISTING/DEMO SIDE ELEVATION
SCALE: 1/8" = 1'-0"



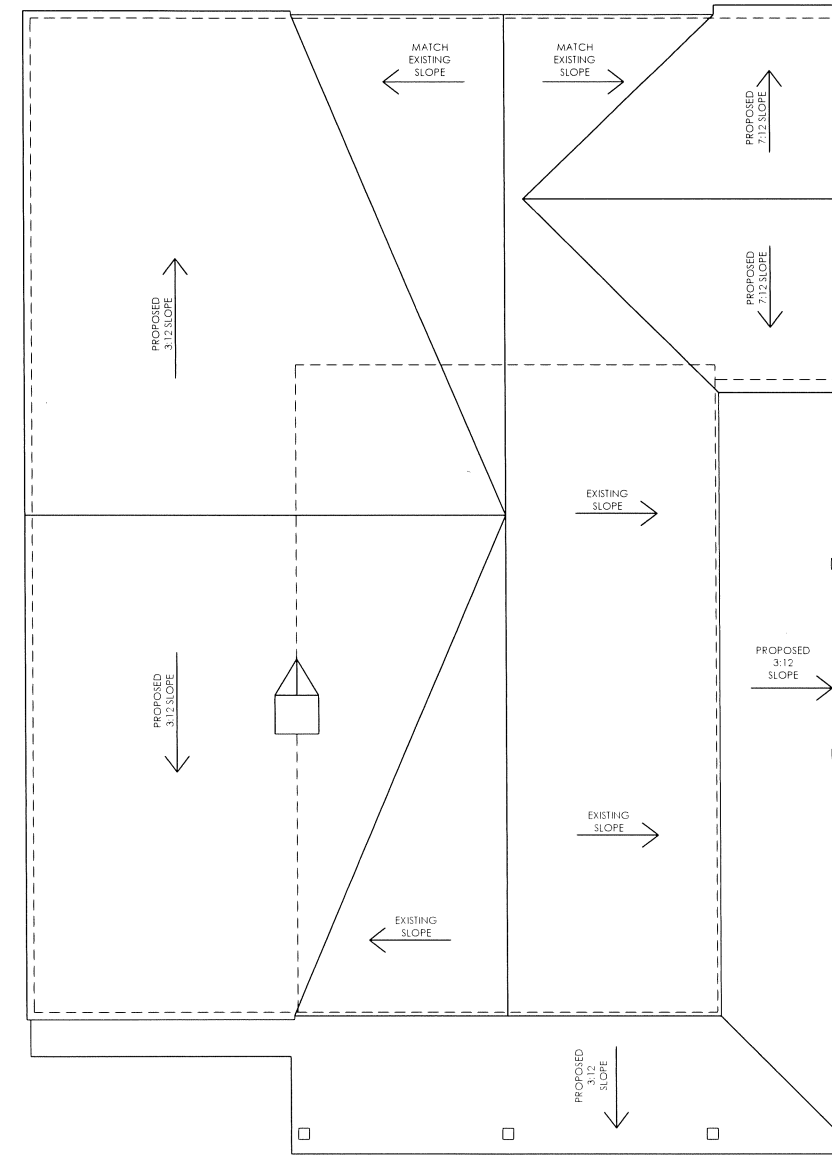
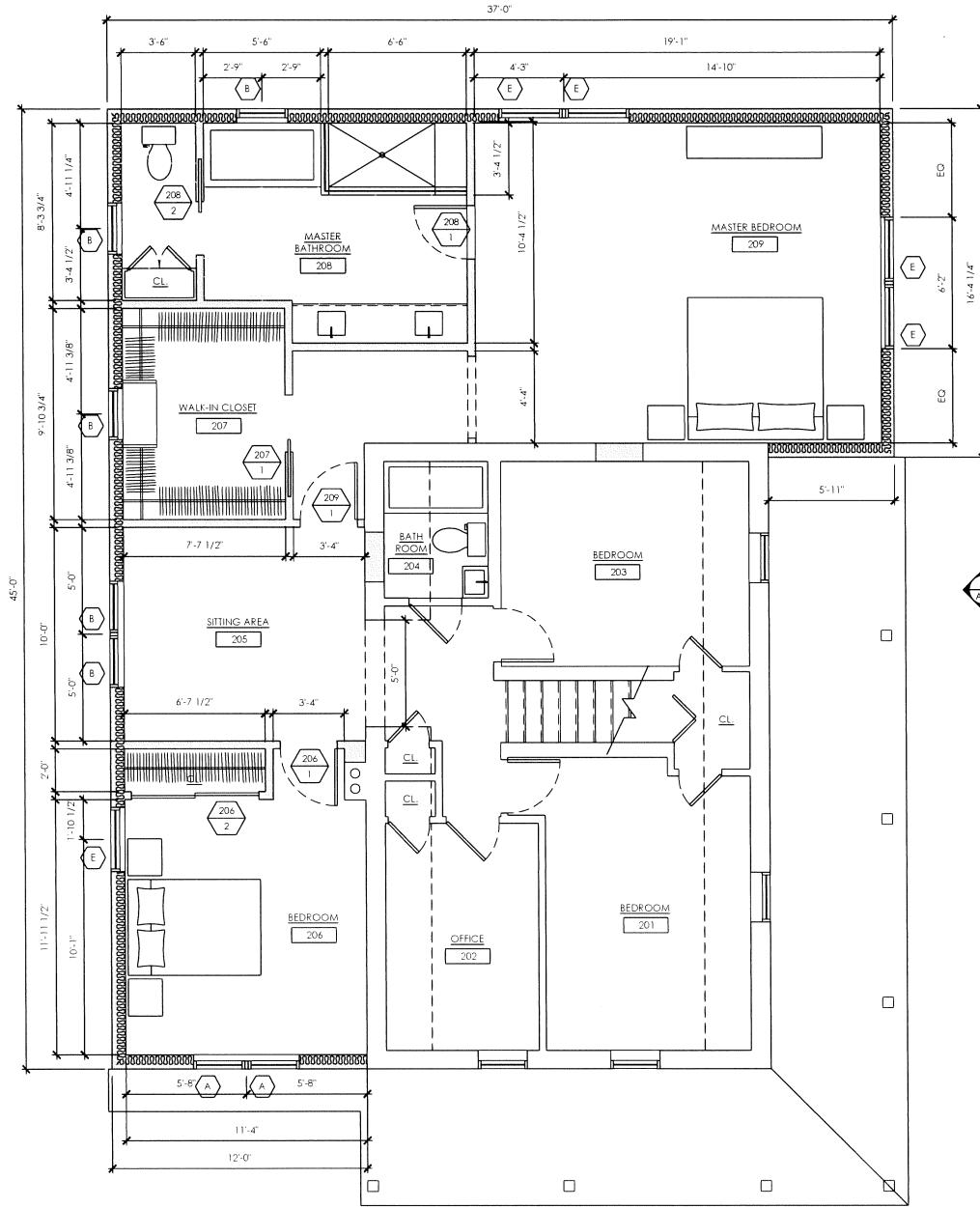
DATE: 11.14.25
SCALE: AS NOTED
DRAWN BY: CP

A-1

323 GARTH ROAD
ORELAND, PA 19075

GENERAL ROOF PLAN NOTES

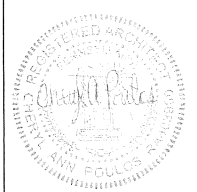
1. SEE WALL SECTIONS AND DETAILS FOR ROOF OVERHANG DIMENSIONS.
2. ROOF PENETRATIONS:
 - a. EXTEND ALL VENTS THROUGH ROOF (VTR) TO REQUIRED HEIGHT.
 - b. COORDINATE VTR LOCATIONS SO THAT ALL PENETRATIONS ALIGN HORIZONTALLY.
 - c. COORDINATE VTR LOCATIONS WITH PLUMBING CHASES AND ROOF FRAMING LAYOUT.
3. NEW GUTTERS AND DOWNSPOUTS AT ADDITION - PITCH GUTTERS TO DOWNSPOUTS, TYPICAL.



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

323 GARTH ROAD
ORELAND, PA 19075

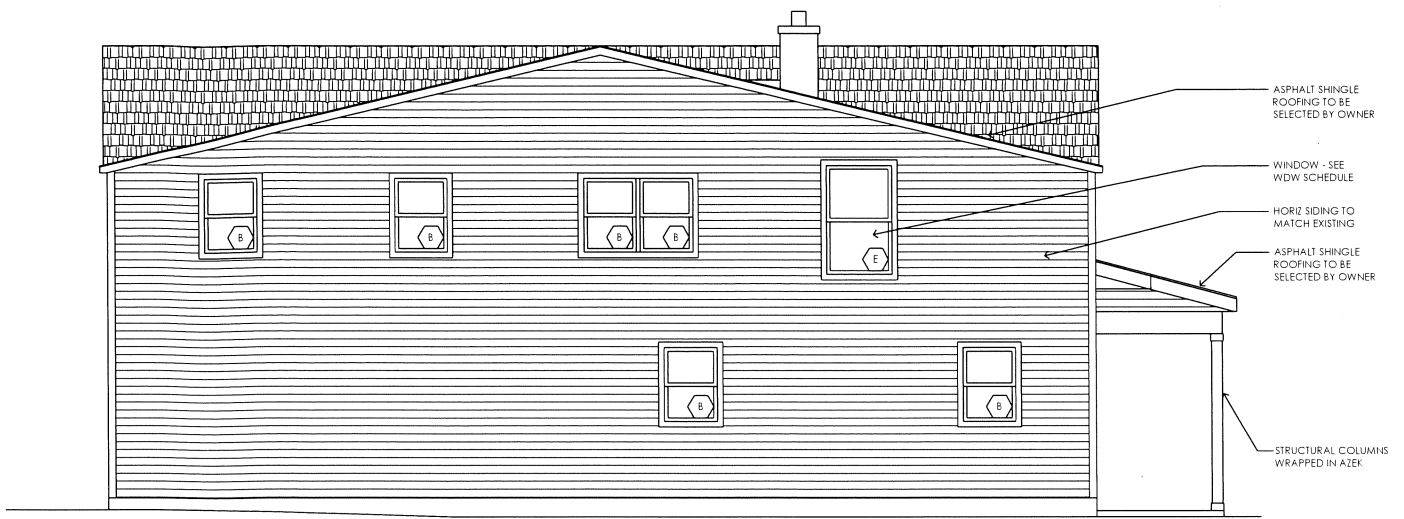


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SCALE	AS NOTED
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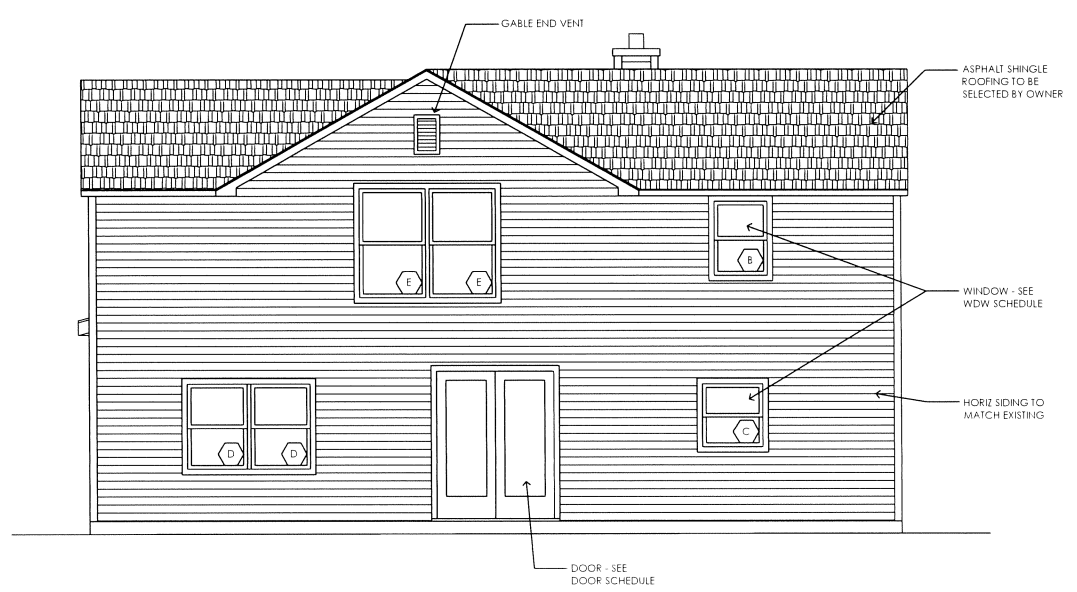
A-3



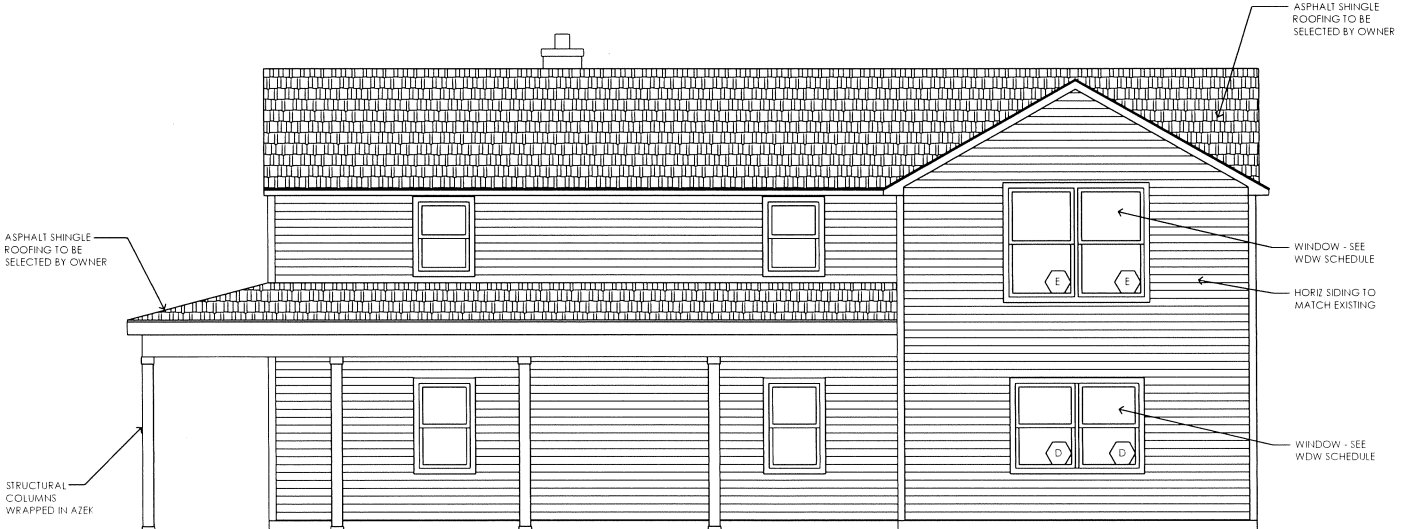
1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE

NUMBER	ROOM NAME	DESCRIPTION	MANUFACTURER	REMARKS
103	POWDER ROOM	SINK BOWL	*TBS	...
		SINK FAUCET	*TBS	...
		TOILET	*TBS	...
105	KITCHEN	SINK BOWL	*TBS	...
		SINK FAUCET	*TBS	...
208	MASTER BATHROOM	SINK BOWL	*TBS	...
		SINK FAUCET	*TBS	...
		SINK BOWL	*TBS	...
		SINK FAUCET	*TBS	...
		TOILET	*TBS	...
		SHOWER HEAD	*TBS	...
		SHOWER CONTROLS	*TBS	...
		TUB	*TBS	...
		TUB SPOUT/CONTROLS	*TBS	...

*TBS - TO BE SELECTED BY OWNER

APPLIANCE SCHEDULE

NUMBER	ROOM NAME	DESCRIPTION	MANUFACTURER	REMARKS
105	KITCHEN	DISHWASHER	*TBS	...
		RANGE	*TBS	...
		MICROWAVE	*TBS	...
		REFRIGERATOR	*TBS	...

*TBS - TO BE SELECTED BY OWNER

WINDOW SCHEDULE

WINDOW TYPE	MANUFACTURER	WIDTH	HEIGHT	OPERATION	U-FACTOR	REMARKS
A	TO BE SELECTED BY OWNER	2'-4"	3'-1"	DH	0.28	...
B	TO BE SELECTED BY OWNER	2'-4"	3'-4"	DH	0.28	...
C	TO BE SELECTED BY OWNER	2'-8"	3'-0"	DH	0.28	...
D	TO BE SELECTED BY OWNER	2'-8"	4'-0"	DH	0.28	...
E	TO BE SELECTED BY OWNER	3'-0"	5'-0"	DH	0.28	MEETS EGRESS

DOOR SCHEDULE

NUMBER	MANUFACTURER & CATALOG NUMBER	WIDTH	HEIGHT	THICKNESS	REMARKS
1-103	INTERIOR DOOR	2'-0"	6'-8"	1 3/8"	...
1-104	EXTERIOR DOOR	3'-0"	6'-8"	1 3/4"	...
1-105	EXTERIOR DOOR	(2) 2'-8"	6'-8"	1 3/4"	SLIDING DOORS
1-106	INTERIOR DOOR	2'-8"	6'-8"	1 3/8"	...
1-107	GARAGE DOOR	8'-0"	8'-0"	1 3/4"	...
2-107	EXTERIOR DOOR	2'-8"	6'-8"	1 3/4"	1-HR FIRE RATED
1-204	INTERIOR DOOR	2'-8"	6'-8"	1 3/8"	...
2-204	INTERIOR DOOR	(2) 3'-0"	6'-8"	1 3/8"	SLIDING DOORS
1-207	INTERIOR DOOR	2'-8"	6'-8"	1 3/8"	POCKET DOOR
1-208	INTERIOR DOOR	2'-4"	6'-8"	1 3/8"	...
2-208	INTERIOR DOOR	2'-6"	6'-8"	1 3/8"	POCKET DOOR
1-209	INTERIOR DOOR	2'-8"	6'-8"	1 3/8"	...

* INTERIOR DOORS BY SIMPSON RED-PRIME SERIES
* EXTERIOR GLASS DOOR TO BE CLEAR TEMPERED GLASS AS PER ANDERSON SELECTIONS

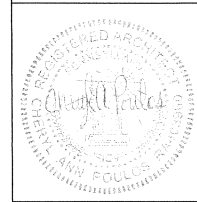
INSULATION NOTES

- WALL INSULATION - R-21 BATT INSULATION AT EXTERIOR WALLS
- ROOF INSULATION - R-49 BATT INSULATION AT CEILING/ROOF
- FLOOR INSULATION - R-30 BATT INSULATION AT FLOORS OVER CRAWL SPACE

FLOOR PLAN LEGEND

- 2 X 6 AT 16" O.C. WOOD STUD EXTERIOR WALL W/ R-21 BATT INSULATION
- 2 X 4 AT 16" O.C. WOOD STUD INTERIOR WALL
- 8" CONC FOUNDATION WALL

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A-4

LIGHT FIXTURE SCHEDULE

MARK	TYPE	MANUFACTURER	TRIM COLOR	TRIM HD. / CAT. NO.	LAMP	REMARK
○	RECESSED DOWNLIGHT	← TO BE SELECTED BY OWNER →				
○	WALL-MOUNTED FIXTURE	← TO BE SELECTED BY OWNER →				
⊠	PENDANT FIXTURE	← TO BE SELECTED BY OWNER →				
EF/L	EXHAUST FAN/LIGHT	← TO BE SELECTED BY OWNER →				
⊠	CEILING FAN	← TO BE SELECTED BY OWNER →				

DEVICE MOUNTING HEIGHT (TO ☐ OF BOX)

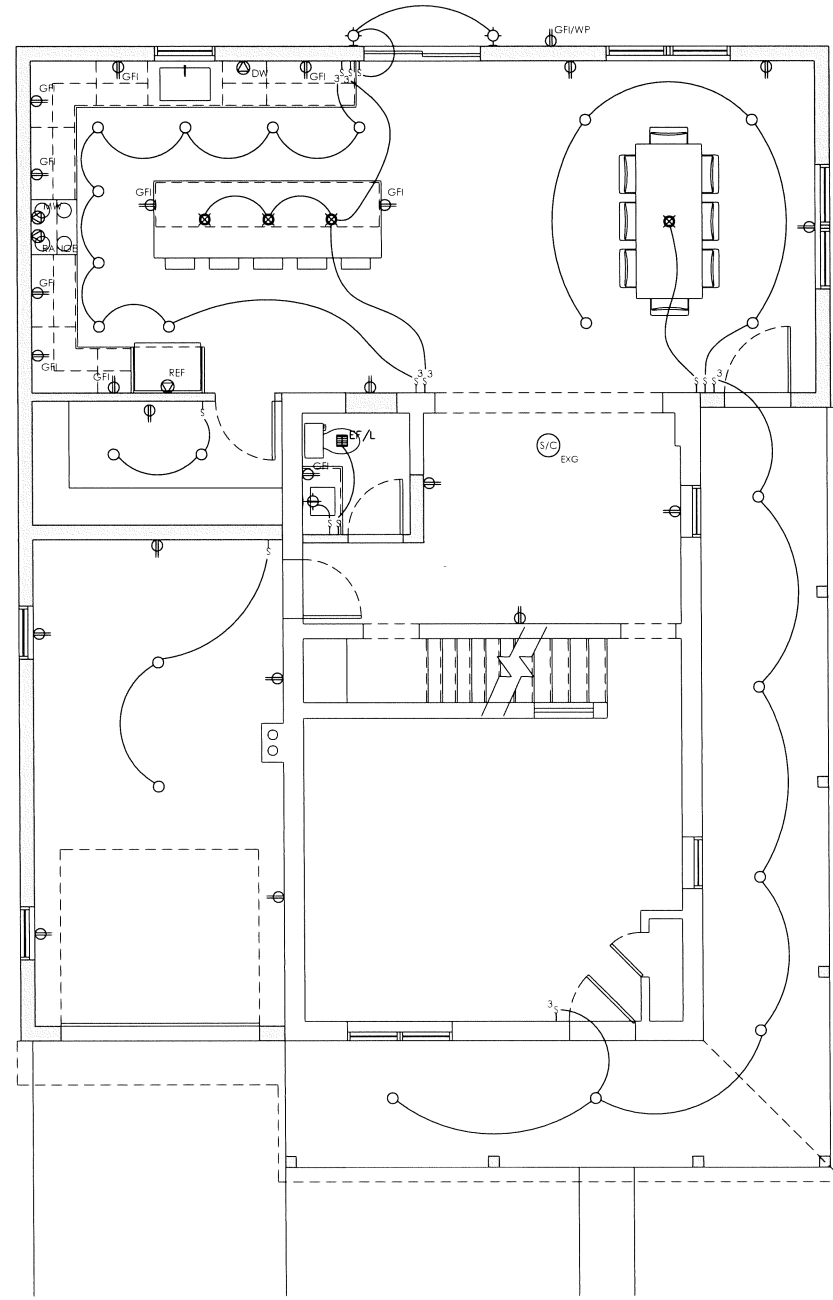
RECEPTACLES	12" AFF UNO
OUTLETS ABOVE COUNTERTOPS AND AT SINKS	44" AFF UNO
WALL SWITCHES	48" AFF UNO
WALL MOUNTED LIGHT FIXTURES	6'-8" AFF UNO

SYMBOLS

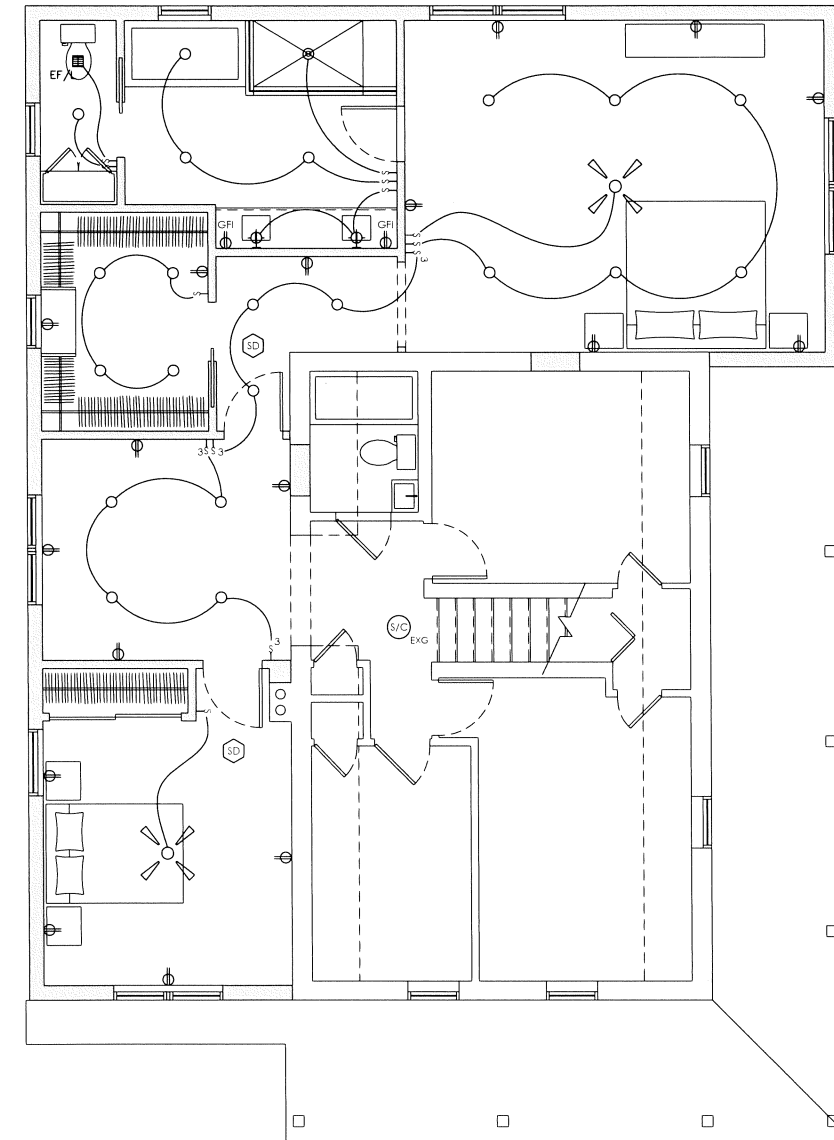
EF/L	EXHAUST FAN/LIGHT COMBO	⊠	DUPLEX RECEPTACLE
○	RECESSED DOWNLIGHT	GFI	GROUND FAULT INDICATOR
⊠	WALL-MOUNTED FIXTURE	GFI/WP	GROUND FAULT INDICATOR WATERPROOF FOR EXTERIOR USE
⊠	CEILING FAN/LIGHT	⊠	DEDICATED DUPLEX RECEPTACLE FOR APPLIANCE
⊠	PENDANT FIXTURE	⊠	SINGLE POLE WALL SWITCH
SD	SMOKE DETECTOR	⊠ ³	THREE WAY POLE WALL SWITCH
S/C	CARBON MONOXIDE/SMOKE DETECTOR COMBO	⊠ ⁴	FOUR WAY POLE WALL SWITCH

GENERAL ELECTRICAL NOTES

1. WORK TO CONFORM WITH ALL APPLICABLE ELECTRICAL AND BUILDING CODES.
2. ELECTRICAL SYSTEM DESIGN, INSTALLATION AND PERFORMANCE ARE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUBCONTRACTORS.
3. VERIFY THAT EXISTING ELECTRICAL SERVICE IS SUFFICIENT FOR PROPOSED CONSTRUCTION.
4. REFER TO FLOOR PLANS FOR EXTENT OF WORK AREA.
5. USE INSULATED RECESSED FIXTURES IN LOCATIONS WHERE REQUIRED.
6. COORDINATE DECORATIVE LIGHT FIXTURE LOCATIONS WITH OWNER UNO.



1 PROPOSED FIRST FLR LIGHTING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLR LIGHTING/ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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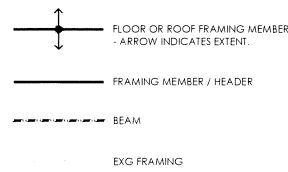
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E-1

FRAMING PLAN LEGEND



NOTE:
PROVIDE JACK AND KING STUD LAYOUT PER TABLE 603.7 (1) OF IRC 2018
WALL BRACING TO BE AS PER SECTION R602.12 OF IRC 2018

NOTE:
PROVIDE MIN (3) 2x6 POSTS SPaced 4'-0" ON CENTER OR BETTER UNDER EACH END OF ALL HEADERS/BEAMS U.N.O. IN EXTERNAL WALLS.

SHEAR WALL SCHEDULE

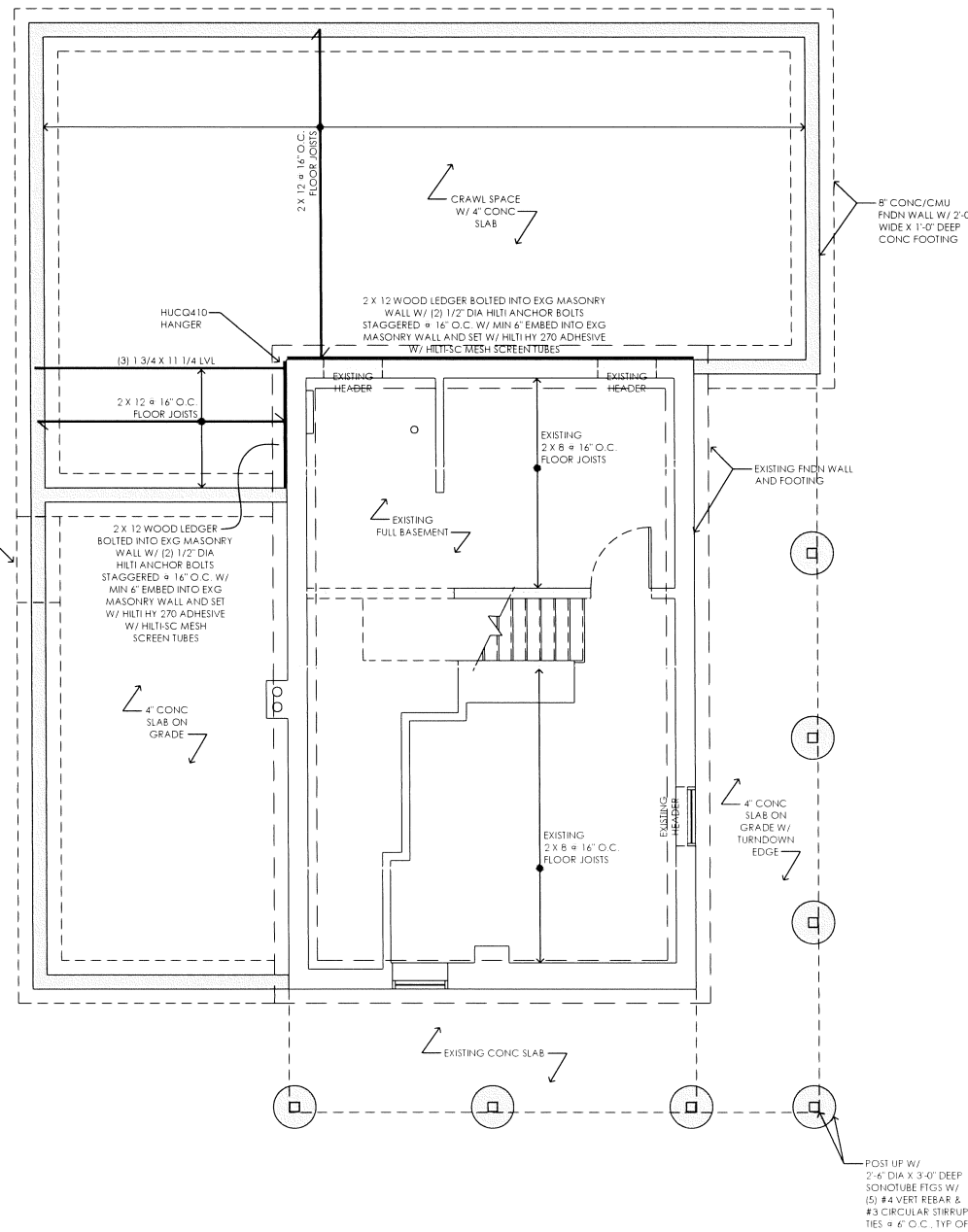
MARK	SHEATHING MATERIAL	MATERIAL THICKNESS	FASTENER	SPACING	CHORD	ANCHOR BOLT	CLEAR SPAN (IE) / HOLDOWN ANCHOR	STRIP TIE	HOLDOWN ANCHOR (CON & CM ANCHOR/STEEL ANCHOR)
SW	APA RATED WOOD STRUCTURE PANEL	15/32"	ONE SIDE	BLOCKED EDGES	10D NAILS	6" x 12" x 6"	(2) 2 X 6	1/2" DIA # 1-4"	MSTC66 W/ 48-14D SINKER NAILS
									MSTC40 W/ 52-14D SINKER NAILS
									HOU-SDS2.5 W/ 58-5/8 X 24 W/ 18" MIN EMBED / 5/8" DIA THRU-BOLT

CHERYL POULOS ARCHITECT

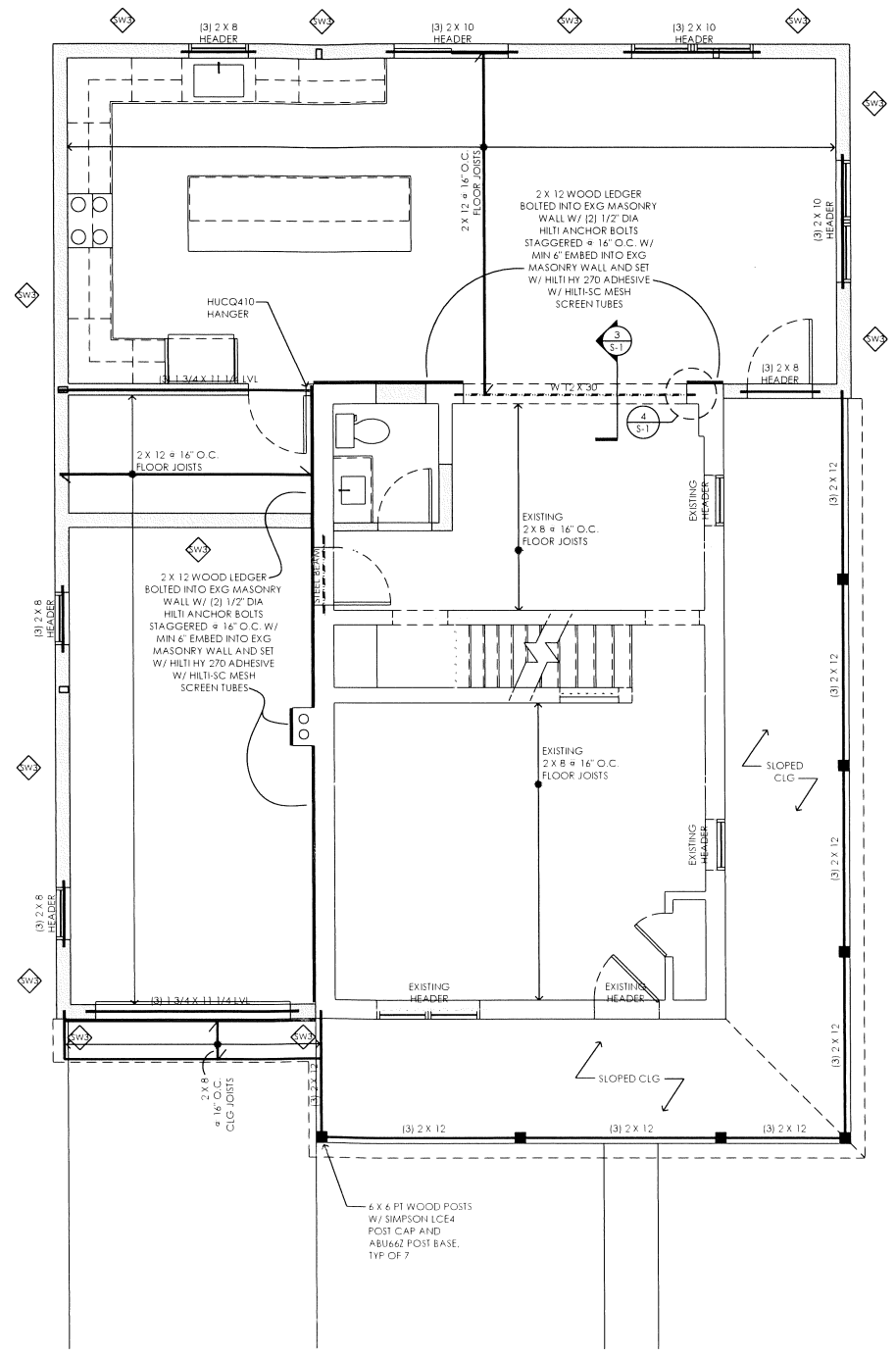
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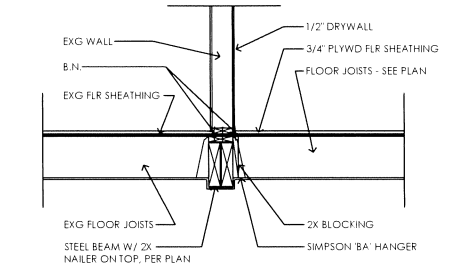
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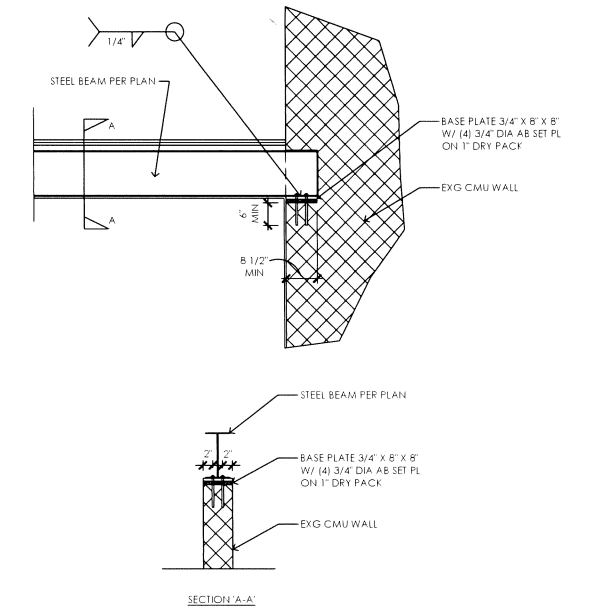
1 FIRST FLR FLOOR FRAMING/FOUNDATION/FOOTING PLAN
SCALE: 1/4" = 1'-0"



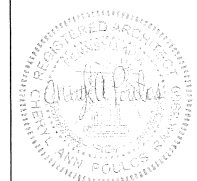
2 SECOND FLR FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



3 STEEL BEAM TO JOISTS DETAIL
SCALE: 1/2" = 1'-0"

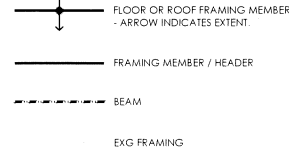


4 STEEL BEAM TO EXG CMU WALL DETAIL
SCALE: 1/2" = 1'-0"



DATE: 11.14.25
SCALE: AS NOTED
DRAWN BY: CP

FRAMING PLAN LEGEND

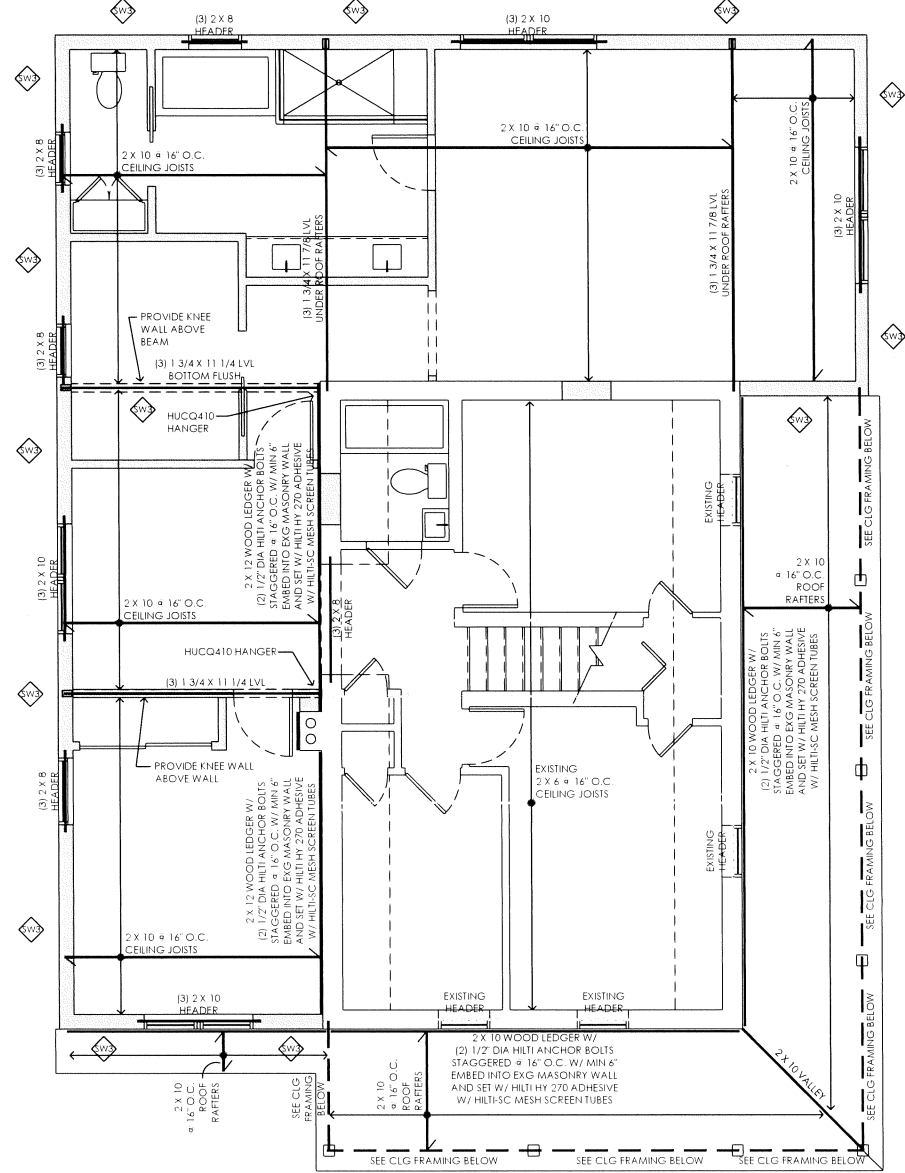


NOTE:
PROVIDE JACK AND KING STUD LAYOUT PER TABLE 603.7 (1) OF IRC 2018
WALL BRACING TO BE AS PER SECTION R402.12 OF IRC 2018

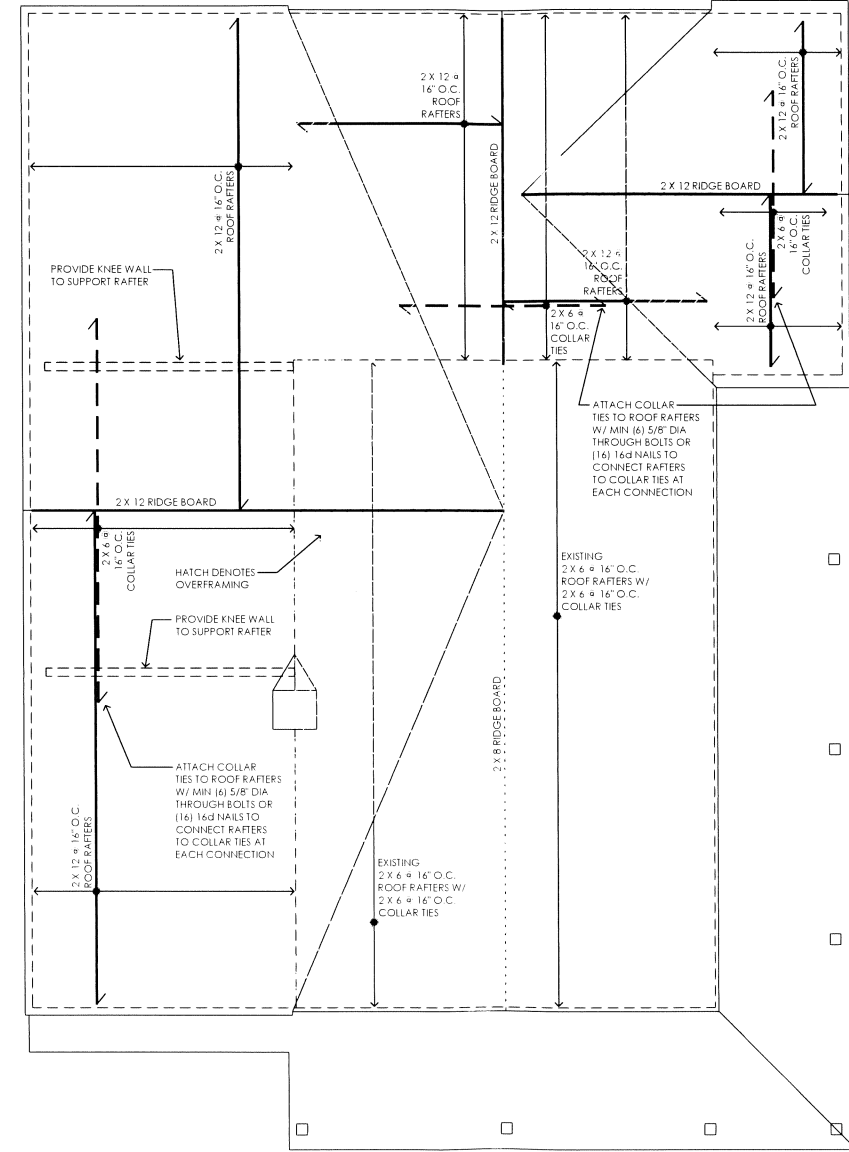
NOTE:
PROVIDE MIN (3) 2x6 POST 3PF STUD GRADE OR BETTER UNDER EACH END OF ALL HEADERS/BEAMS U.N.O. IN EXTERNAL WALLS

SHEAR WALL SCHEDULE

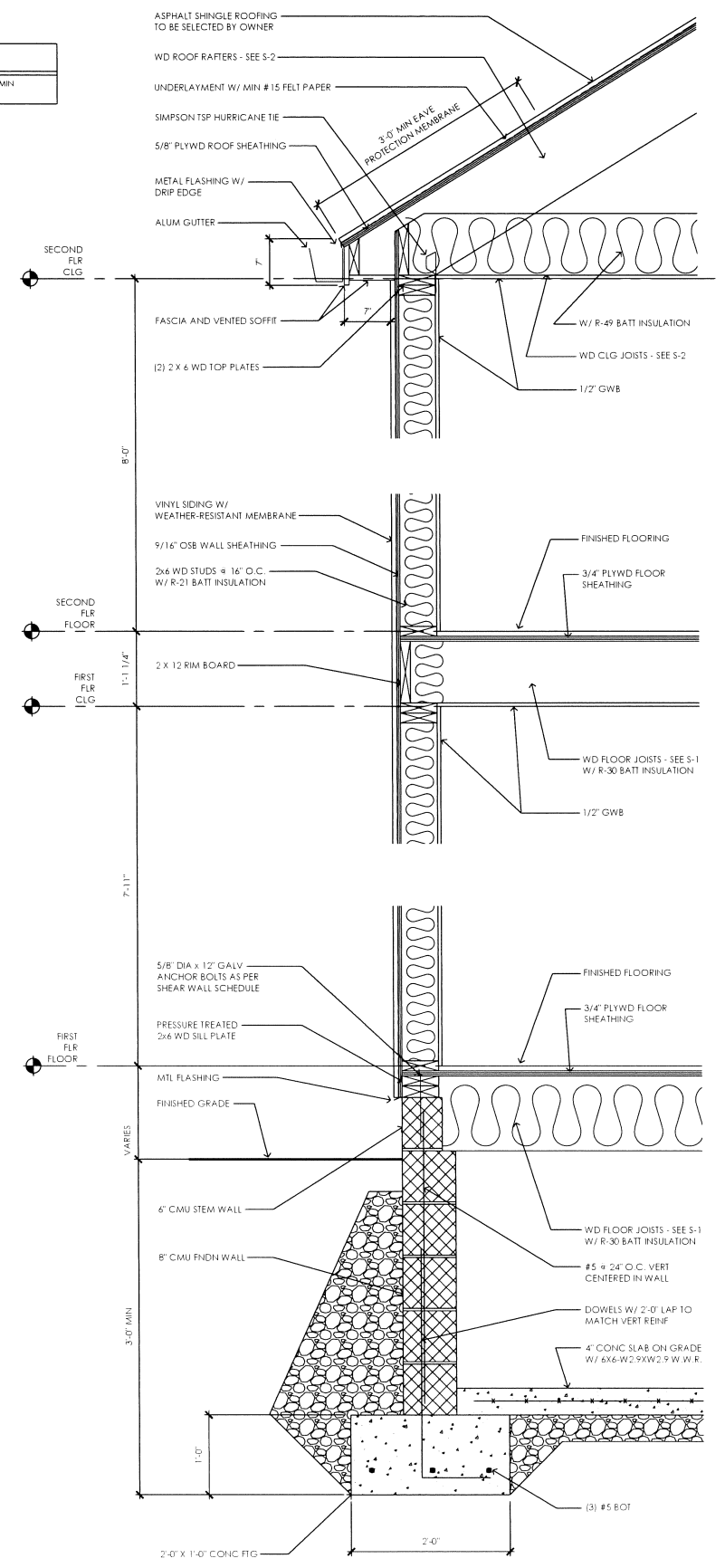
MARK	SHEATHING MATERIAL	MATERIAL THICKNESS	ON ONE SIDE	BLOCKED EDGES	FASTENER	SPACING	CHORD	ANCHOR BOLT	CLEAR SPAN TIE/HOLDOWN ANCHOR	STRIP TIE	HOLDOWN ANCHOR (CON & CM ANCHOR/STEEL ANCHOR)
SW	APA RATED WOOD STRUCTURE PANEL	1 5/8"	ONE SIDE	BLOCKED EDGES	100 NAILS	6" @ EDGE 12" @ FIELD	(2) 2 X 6	1/2" DIA @ 1'-4"	MSTC66 W/ #8-14D SINKER NAILS	MSTC40 W/ #2-14D SINKER NAILS	HDIJ5-SDS25 W/ 5/8" X 24 W/ 18" MIN EMBED/ 5/8" DIA THRU-BOLT



1 SECOND FLR CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"



2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



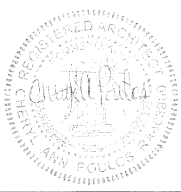
3 TYPICAL WALL SECTION
SCALE: 1" = 1'-0"

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DATE	11.14.25
SCALE	AS NOTED
DRAWN BY	CP

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